



**RICK BELL**  
*Mayor*

# CITY OF LEBANON

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## **REGULAR CALLED CITY COUNCIL MEETING**

**AGENDA – January 20, 2026 - 6:00 P.M.**

**TOWN MEETING HALL, ADMINISTRATION BUILDING**  
**200 North Castle Heights Avenue, Lebanon, Tennessee**

1. **CALL TO ORDER**
2. **INVOCATION**
3. **PLEDGE TO FLAG**
4. **ROLL CALL**
5. **APPROVAL OF MINUTES:**  
January 6, 2026 – Regular Called City Council Meeting
6. **COMMUNICATION FROM CITIZENS**
7. **COMMUNICATION FROM MAYOR**
8. **REPORTS FROM MAYOR PRO TEM / ALDERMEN / OFFICERS**
9. **CONSENT:**
  1. **Ordinance No. 26-7345**, second reading, to approve a budget amendment for the Police Department Local Option Fund for delayed vehicle orders, by Mike Justice, Police Chief.
  2. **Ordinance No. 26-7346**, second reading, to authorize hiring legal counsel to represent the City regarding the Gasification Facility matter, by Andy Wright, City Attorney.
  3. **Ordinance No. 26-7347**, second reading, to approve budget amendments for the Street Department to promote Light Equipment Operators, by Lee Clark, Public Works Director.
  4. **Ordinance No. 26-7348**, second reading, to create budget for gas line relocation at Hartsville Pike TDOT Project, by Chad Mueller, Gas Department, Manager.

**10. OLD BUSINESS:**

1. **Resolution No. 26-2810**, second reading, adopting a Plan of Services for the annexation at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to be added to Ward 1 (Request by Summit Development) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting).
2. **Resolution No. 26-2811**, second reading, annexing property at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to be added to Ward 1 (Request by Summit Development) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting).
3. **Ordinance No. 26-7340**, second reading, to amend the Official Zoning Atlas of the City of Lebanon, Tennessee, by requesting zoning approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to Sorelle Hybrid Specific Plan to be added in Ward 1 (Request by Summit Development) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting).
4. **Ordinance No. 26-7341**, second reading, to amend Title 14, Chapter 8 Section 13 to add Vested Rights to specify the type of development plans that will cause property rights to vest (Request by Staff) (Planning Commission recommended approval by a vote of 9-0 at their November 17, 2025 meeting).

**11. NEW BUSINESS:**

1. **Ordinance No. 26-7349**, first reading, to authorize budget amendments for the Water/Sewer Fund and Gas Fund for a vehicle swap, by Lote Kaesontae, Water and Sewer Manager, and Chad Mueller, Gas Department Manager.
2. **Resolution No. 26-2814**, to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Acts, codified in Tennessee Code Annotated, Section 8-36-212, to authorize the payment of the hazardous duty supplemental benefit pursuant to Tennessee Code Annotated, Section 8-36-212 (for Legacy TCRS Plans), by Sylvia Reichle, HR Director.
3. **Resolution No. 26-2815**, to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Acts, codified in Tennessee Code Annotated, Section 8-36-212, to authorize the payment of the hazardous duty supplemental benefit pursuant to Tennessee Code Annotated, Section 8-36-212 (for Hybrid TCRS Plans), by Sylvia Reichle, HR Director.

**12. ADJOURNMENT**

## PUBLIC HEARING

January 6, 2026

The City Council met in regular session in the Town Meeting Hall of the City of Lebanon  
Administrative Building at 200 North Castle Heights Ave, Lebanon, TN

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Mayor Rick Bell called the Public Hearing to order at 5:55 p.m.

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1. Request by Summit Development for Plan of Services approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, & 21.01) near Ward 1 (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting) (Reference Resolution No. 26-2810).

2. Request by Summit Development for annexation approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 8, 18.01 & 21.01) to be added to Ward 1 (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting) (Reference Resolution No. 26-2811).

3. Request by Summit Development for zoning approval for about 246 acres at unaddressed property on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, & 21.01) to Sorelle Hybrid Specific Plan in Ward 1 (PN 1877386 & 1877423) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting) (Reference Ordinance No. 26-7340).

A. Dwayne Miller, 145 Baird Crossing, Mt. Juliet: I am with Summit Development. This process has been very unique for us as a local developer and especially at Planning Commission where a month and a half ago, we had a room very similar to this. We had opposition, sure, but we had an overwhelming sense of support, from not only our residents in the community, but also our local builders, businesses, and trades. That's what we're here for – intentionality on how Lebanon grows and you're going to see that here tonight, too. There's real support here from our local builders, businesses, and community because this matters.

What I do want to be clear on is this development is for 311 homes. There's been a lot of misinformation, but that is the fact. These are single-family, residential, detached homes. Again, it is intentional for us to build communities that speak the needs of where we're at in Lebanon. I want to hit on some facts with that. The trailing 12 months – and this is ending 12/30/25, I want everyone to know that, there were 928 homes that were sold in Lebanon. Of those, 125 of those

transactions were \$700,000 to a million dollars plus. 19 were above a million and 106 in the \$700,000 - \$999,000 range. Of those, 31 of those homes were from new construction. So, think about that – only 31 hit the price points that we desperately need here in Lebanon and from those they came from The Reserve at Horn Springs. It's a county development that's gated off of Horn Springs Road, local builders and it also included regional and Schell Brothers. Del Webb – a couple of million-dollar transactions in Del Webb. That's kind of wild, but that's true. Forest of Lebanon – again, local builders. Farmington Woods - local builders, Brookside – local builders.

Where are the other developments that speak to the demand that we don't have - the demand that we have, but we don't have the communities that can actually perform that. That's the intentionality that drove us to actually say that we want to develop this. We don't want to go after the future land use of 738 homes on these two developments because that doesn't represent what is needed in Lebanon. For us to grow the right way and bring forward development that changes the landscape of Lebanon as we move forward as a community, this is why we are here and this is why we are okay to have open and honest conversation about this. This is why we provided pattern booklets to opposition people to say "We're okay that you don't understand or support what we're trying to do, but we want you to know exactly what we're trying to do. There's no smoke and mirrors. It's all out there. That's why they all have pattern booklets and everything else that represents our community. Again, that's why you see the local builders, the community, and businesses here tonight. I'll be happy to answer any questions you may have should it come up and again, thank you for your time.

B. Phillip Donnell, 914 Maple Hill Road: I believe all of you have the packet with Resolution 26-2811 that has the map that the city put out. If you kind of follow along with that, you will see and connect the dots with what we're presenting. This is kind of emotional for me because the 150 acres is my aunt and uncle's property and the other part of our farm, so I'm going to try and read through this and not break up or tear up over it so bear with me.

I'll try to keep it together and keep it simple. This was originally presented as two different tracts. The Specific Plan Committee gave it a negative recommendation to move it forward. The City Planning gave it a negative recommendation stating that it gave no significant benefit to the city and added a liability of five more miles of road that the city would have to maintain. On December 15<sup>th</sup>, this was presented as one single project to the Lebanon City Planning Commission. I'm not really sure of the shenanigans that took place because it went really fast. I couldn't really wrap my head around – there was a motion, a second, it got voted on. Chris (Crowell) was there; he abstained and he can probably explain it better than I can. It was a majority to move it forward with that committee, or that commission.

This proposed development has been making its way through the city planning process since July. Myself, and members of the community, have attended several meetings in this very room and there are a few things that still concern us. The Summit team has presented to us that all materials, builders, and resources would be local ones, but when we have searched online about Summit, results come back with ties to Signature Homes and Financing in Alabama.

Number 2 – the minimum requested lot sizes was 8500 square feet but since then updated to 10,000 square feet which when we do the math, puts 4 houses per acre. If left in the county, the 150-acre tract would have 122 houses, a 96-acre tract would have 78 houses as explained to me by Christopher Lawless of County Planning.

Point number 3 – besides these two tracts of 150 and 96 acres, there is roughly 500 more acres that could be totaled up to approximately 700 acres that could be developed. If the 10,000 square foot minimum is passed, these numbers moving forward would devastate the community.

I respectfully ask Joey Carmack to make the motion to vote this as two separate entities; to have two votes for this to keep it separate. My mother has turned down \$13M for our half of the farm. If it goes to 10,000 square feet, developers are going to come at her with more money and I can't blame her if she takes it.

Mayor Bell announced: Mr. Donnell, your time is up.

C. Dr. Tabitha Casilli, Pediatrician here in Lebanon: I live at 648 Maple Hill Road. I'm probably not going to say anything different than what anybody else is saying as far as our community does not support this housing community at this time. Our roads, our schools, our sewer; we're just not there yet. I am not opposed to anybody selling their land for development and selling it to do the stipulations that are for the county is doable for our community in the road and the location. Just changing and annexing it to the city and being able to put four houses per acre is overdoing it. I don't want to stand up here and squash anybody's hopes and dreams but I'm telling you the people who get up here and are for it, it's all about money. It's how much I can make by building the house or how much I can make by selling the land. I'm here practicing pediatrics and giving to my community 24/7. I answer my phone all the time. I've had people come to my house when my clinic is closed. I give to my community and I ask that y'all take care of your community on your vote today.

D. Rusty Keith, District 17 County Commissioner: I've been asked to come here tonight on behalf of the people of District 17 to voice our opinion that nobody is in favor of the developments. Having said that, a man does have a right to make money off of his property, so I will request that y'all honor the 40,000 square foot minimum that the county has on a building lot. Having said that, I would like to also, Mr. Carmack, see the two lots divided so that these are two separate building projects. It's my understanding that Judge Tatum may need a variance of two to three acres to make his happen, but it's nice homes. Also, having said that, the people in my area are not against nice homes. They don't want the apartment complexes, the condos, and all that so if we could keep this respectable like the type of houses they have in Farmington Woods, I think we'd be okay with it. Thank you.

E. Charles Smith, 433 Lealand Lane: We need exactly zero new developments. What we need drastically is infrastructure to properly support the people we have here now. I get the occasional power blink because we built a ton of houses close to where I live, but no supporting substation. Our water pressure has gone in the ditch. Again, more houses but no actual infrastructure. We've spliced off what we already had that was designed for what we already had. The reason the street drop offs into a lot of the driveways from like off 231 or Hwy 70 is so steep is instead of actually grinding down all the way to the bottom surface, we had just stacked on top of it. I took a picture and can show it to anybody that wants to see it; it's stacked about that deep (made example with hands about 10 inches apart) instead of actually grinding down properly. That's why you get these drop-offs like behind Auto Zone and all that stuff; it's the same thing all the way around. Whether it's on 231 or College Street; it doesn't matter. It seems to be a kind of an endemic like that. I'd be all for a moratorium on any more building for a good ten years and that's just to get the infrastructure caught up.

Your infrastructure and what needs to happen there; I'll give you some solid numbers here. You need to be at 25% during nice time; like right now it's 60-80° weather. You need to be at 25% of potential output and no more, period. That allows you 50% when we get into the really cold or really hot and that still gives you some extra breathing room for the what the heck happened; equipment failure or whatever. On top of that, how can we even think about giving out building permits when we have a water cleaning plant that hasn't passed in what, two years. Makes no sense to me. If you want to poison people, just say "Hey, we want to poison you". Thanks.

F. Kristi Chastain, 4464 Coles Ferry Pike: Basically, my property is three lots down from where Trice Road comes out onto Coles Ferry Pike. You might as well say that Maple Hill is feeding into me. There's been at least three occasions in the past three months that I can't get out of my driveway because of major crashes at the end of Trice Road and Coles Ferry. This is an occurrence all the time. I went to Lebanon PD to try to get the numbers on Maple Hill and Main Street and they didn't have them. We've seen numerous accidents there. The road cannot handle any more traffic than it already has. As far as developments and the lack of nice homes, I went by Planning today. There are currently five developments that have not broken ground that are located between Hartmann Drive, Coles Ferry, Main Street and Horn Springs Road. These total 1,034 homes that are sitting there that haven't even broken ground on that have been approved inside the city limits. I went to the Water Department and the infrastructure on Maple Hill basically is horrible. Since August of 2023, they have had two major water main breaks. Since September of 2023 to current, they have gone out on 11 service repairs from the main to people's water meters. On January 7<sup>th</sup> of last year and March 6<sup>th</sup> of last year, two fire hydrants on Maple Hill were taken out. These are by drivers and you are fixing to put, what 700 more cars on this road. There are no shoulders, there's blind curves. I've personally swapped mirrors with a truck on this road and if you've never done that, it's scary. Have your mirror come in on you because somebody comes over on you around a curve.

As recent as the last two weeks, talking about water main and construction companies, there's a particular construction company that twice has busted the water main on Maple Hill Road. This is from the Water Department themselves. There's no sidewalks on Maple Hill until you get about a half mile to Main Street. I talked to the City of Lebanon today and the railroad dividers on Maple Hill, they go out every, single Monday and replace those dividers. Every Monday and they are already down now, half of them are already down and it's just Tuesday. They can't handle any more. I'm not opposed to people making money for their property. Keep it in the county, keep it to large lots, keep the density down. That's all we're asking. I personally sit on a piece of property that's a commercial piece of property that I've been offered as a gas station. I'm not selling my people out.

Thanks for letting me speak my piece and I hope that he (directing to Joey Carmack) will maybe split it and do two different things; make a motion for that. Vote on it as two separate pieces and see how it goes from there. Thank you.

G. David Schempp, 1502 Sweet Cherry Lane: I'm in a new construction development at Hawk's Landing. There's an annexation project that's in Planning for the community center between North Maple and Carver Lane which I believe is going to directly impact our community and my lot specifically which I'd like to speak to. The City, in it's infinite wisdom, decided that they plan to connect the road Sweet Cherry Lane, which is the entrance to our development, with Ponderosa Trail. This project is just to the northeast of that. There's going to be increased traffic,

I believe, obviously with this planned community center. Most people will figure out the shortest way through North Maple to Carver through that. I don't know where the entrance and exit of that project is, but now we are going to have traffic going through that road which will connect with Sweet Cherry Lane.

I have a beautiful corner lot that has a beautiful old barn that I love and now I have to deal with potentially more traffic with vehicles that are going to be doing this construction. All the children love – they do their thing; they ride their bikes and they roller skate and now this is one more thing they are going to have to be worried about. Our community mailbox is right there; it just doesn't make any good sense. This is a one way in and one way out development. It's beautiful and we moved there for that very reason; it doesn't connect with anywhere else. That's a major concern of mine. I'd love to see somebody come in there and evaluate this due to that project that is planned in there. It will butt up against the nice cow farm there and I don't know how happy they are going to be with this. I do appreciate the time to speak to this. Thank you.

H. Cynthia Lynn, 833 Maple Hill Road: I appreciate y'all allowing me to speak today and this obligatory 4<sup>th</sup> meeting for this. I come to the second meeting. I missed the third meeting because the information didn't get out to me from the City of Lebanon. The second committee meeting, I have spoken with some of the people in the community and spoke that Mr. Rick Bell, Mayor Rick Bell has already approved this even before they got to vote – that he wanted this done. I'm very disappointed in that.

My issue with this is new people coming into my neighborhood and I have lived there 20 years and as the young lady in the brown shirt said, our infrastructure is horrible. I have had more water outages than you have fingers and toes on everybody on this committee (referencing City Council) on my property. And we get somebody that wants to come in and build a new subdivision and promise a new pumping station and I may get a new water line out my way so I won't have water outages anymore. I think that it is a shame that the county or city hasn't taken care of people out in my area before now.

I also want to say one more thing. I've talked to Mr. Miller several times through email and we have been led astray on what the traffic is and the study from the traffic flow from our area. The traffic flow was measured at the end of Maple Hill and Highway 70 and at the end of Carver Lane and highway 70. There is plenty of area, plenty of secondary roads, plenty of side roads where traffic goes where they don't have to go all the way out to the end of the road. So, it's not a proper amount that's shown what our traffic is. In the other meeting that we were in, there was a lady that said she spent one hour counting the number of cars that went by her house and it was almost 300 in an hour. For Maple Hill and Carver Lane to have that much traffic, it's untenable for us to have that much more traffic coming into our area where there's no sidewalks, no banks or anything to get off the road. You can't get out and I want to say one more thing. If we're doing this much building I don't understand why we don't have more things for our kids to do if the money goes back into the community because if you look at the top ten things to do in Lebanon, eight of them are in Nashville. Thank you.

I. Mary Tom Donnell Haan, 872 Nackle Pike, Cecilia Kentucky: The land that is being concerned about is my half of my family's farm that I inherited. My mother even talked about how nice it would be to have nice homes on it. It can be developed. It's a beautiful piece of property, lovely trees on it. I don't know about all this other stuff that has been going on with it – the traffic. I'm old. I remember when it was a rock road and I rode my horse on it. This is not my Lebanon

that I grew up in. I left here when I married, but I would like to see....I'm impressed with the city development and the people that are going to build these houses. I don't think it will be ugly. There are things that will have to be worked out; I understand that, but I would say that I am for this development and I hope it will go through. Thank you.

J. Rowland Haan, 58 Manning Circle, Cecilia, Kentucky: I'm the oldest grandson of Phillip and Annette Donnell and oldest son of my parents. This is the first time I've ever been to any city planning thing and hopefully my last, but I appreciate each and everything y'all do for this city. I lived here until I was three, but I've heard through my ears a few things about money. Let me let everybody know for sure; my parents don't need any money. I can tell you that. They don't live high on the hog but we've always lived where we can eat and have a roof over our heads so it's not about the money. If it had been about the money, they would have sold it already. The folks here, I guess the legacy, and our trust in the developers is being done here in Lebanon, by Lebanon folks and that's why my parents signed a contract with them and why they stuck by for so long. For those that thought it was about the money, I wanted to let you know that it's not about the money for my parents. Thank you.

K. Anita Tate, ReMax Realty: I do represent the Haan's, but I want you to think about who is in this room. These are our local builders, roofers, developers, the handy man; they're local. That's what Summit is doing for us. As a realtor, I really see a need for this. I can't tell you how many people, yes they are moving in from everywhere, but I'd say in this room not very many are local. What we do respect is the fact that they want to live in Lebanon and there's many reasons people want to relocate to Lebanon. They love our schools. They love our community. They love the proximity to the airport. There are so many reasons but they love it here and I love it here. My grandparents came from here. I live in Five Oaks. That was a 655-acre farm. Does everybody know what Five Oaks is now? We are a golf course and 400 something homes. The Forest; it was a 100-acre farm and Mr. Maxey owned it. It is now The Forest and it's part of Oaks Pointe. These builders back here are the ones that built it and they are here to support us.

What I want to leave with you and everyone else is we need to have faith in our leaders, which is all of you (referencing City Counselors and staff) and the hope that we can build a great community and the love for our City of Lebanon.

L. Allison DeAndria, 519 Maple Hill Road: Anita actually sold us our home and I love her very much. When we moved to our property – we have 11 ½ acres – it was my husband and my dream. I had always lived in neighborhoods and I was like, “Oh yes. I can have a farm and it's like pretty close to town”. Recently, we needed to get approval to put a building on our property so we would have more room for our horse farm behind us. We had to change our property over from being a multi-use property where we could have put town homes or anything we wanted to put on it which would have made us money, but we had to change that over to an agricultural lot so we could build the building on our property.

I'm wondering why are we going to have hundreds and hundreds of homes come on our street and I can't even build a building because.....you tell me. I don't understand. I am living on this property for the beautiful views. I've got three children. I taught in this city for several years and now I run a farm camp. It is lovely. It's not loud; we can see the stars at night and if I had known they were putting hundreds and hundreds of homes literally next door. They are going to take the forest between my home away, where all my cows, horses, and chickens look out at this

forest right now. Then, they are going to be looking in people's back yards. Am I going to be able to have chickens at that point? I just can't tell you how disappointing it is for me and the other people I am friends with on Maple Hill Road who have land, who have acreage. We just want to do things that are good for our community. Really, please take into consideration the pediatricians, the teachers, the people who live on this road because it is part of our heart. Thank you for your time.

M. Barry Tatum, 114 Castle Heights Ave.: As Ms. Haan spoke here a minute ago, they have the tract of land that is to the west of Maple Hill Road. Our family has the tract of land that lies to the east of Maple Hill Road. Tonight, I'm joined by my first cousin, Allen, my brother and sister, and my late cousin's widow, Sherrie who has joined us over here from Sumner County and I have another cousin watching on TV. Our grandparents purchased this farm in 1955. If you think about annexation, in 1955 where we are today was not in the city limits of Lebanon. It's been annexed. You cannot stop annexation. You cannot stop growth. What y'all do have the authority to do is to do something that is responsible and proactive for our community.

Growth is going to come. If it's not annexed in the city and it's not developed, if I were to come back in 50 years, I dare say it will be. No telling what would be there. I would like to ask the contractors and the materialman and tradesman or anybody that is in the construction business that would like to see this go forward to stand up. These folks are like y'all. They are invested in this community. They grew up here. They have families here, their kids go to school here. If this is allowed to go through – this is a new concept – where we don't have these army barracks type subdivisions that we've seen proliferate all over Lebanon in the last 10 or 15 years. This goes back to the Fairways and goes back to the Southforks and goes back to how Five Oaks was intended to be. I would like to ask your approval for this. Thank you.

N. Perry Neal, 1000 Murphy Lane: I do not live in the Maple Hill community. I live on the east end of the county. Lifelong resident of Wilson County. Born and raised here. I'll try to keep this very brief. Appreciate you guys letting us come up and speak. According to Google, I think it was last year - I googled this out in the parking lot - approximately 51,000 people live in the city limits of Lebanon. I think that's about a year old, give or take. Go back 10 years ago and approximately 30,000 people lived in the city limits. My question would be, how many people will live in the city of Lebanon 10 years from today? That is what's in front of you, is it not? At what point do we say, I agree with Judge Tatum, we need responsible growth. I preach responsible growth everywhere I can go, but responsible growth may be a lower density growth. I really feel very strongly that the 50,000 people that you guys represent, I'm sure they didn't all vote and if they did vote, I'm sure they didn't all vote for each and every one of you guys. But you represent each and every one of those people. You are the voice of the 50,000 people. Not just the developers and builders in this room, not just a neighborhood. You represent each and every one of those 50,000 people. What do they want? They want more growth? They want more traffic? They want more school issues? Do they want more sewer issues? I think we all know that the answer to that as a general rule, the people of Lebanon want to slow down growth down.

I'll try to go ahead and finish this with one really quick – we are going to go back to junior high history here. I wasn't much of a student in school, but American History, if I had a favorite topic other than recess or PE, it would have been American History. You've all heard this; government of the people, by the people, and for the people shall not perish from the earth. Obviously, that statement wasn't written and made about county city government, but this is where

it starts at. This is where it applies. Right here in this room. You are the voice of the people for the people and I would ask that you let this property be developed under the current R1 county standards. Thank you very much for your time.

O. Leann Blevins, 204 Payton Farms Road: I'm not a part of the neighborhoods that will be directly affected, but I live out past Coles Ferry Elementary or I mean Friendship. I live across from Friendship. I work in Nashville. It takes me longer to get to the interstate now, and I chose to be further out, but it takes me longer now to get to the interstate than it does for me to get to Metro Center to work in the mornings. Unless I just go extremely, extremely early. If I'm leaving at 5:30 or 6:00 am, I can beat that kind of traffic. I can't imagine Maple Hill being busier than what it is. There are already a lot of problems with Hartmann Drive where they've extended the road through from Coles Ferry out to .....I can't think of the name of the road right now. The infrastructure stinks. Everybody has already said that. You've heard that. But I just want to give you a little bit different aspect of it that it takes me longer – and it wasn't like that five years ago – but it is now. It takes me longer to get from Friendship School to the interstate, and I go Coles Ferry to Hartmann and that's the quickest route. It takes me longer to get there than it does for me to get to Metro Center. I hope y'all will rethink this. Thank you.

P. Tim Shaffer, 100 Eliza Way: I do live in the Maple Hill area. I travel Maple Hill and Carver Lane every day. My concern is them roads are dangerous as they are right now today. They're so narrow. In my neighborhood, people walk all the time. What happens when all of these cars come into my neighborhood? Where are they going to walk? That's just my concern. That's all I have to say. Thank you for your time.

Q. Caleb Huestis, 85 Trice Road: I just moved there with my fiancé earlier this year. Beautiful property. We love it. I'm gonna hit on the same thing a lot of people have; the road. I take Maple Hill. I leave for work at 5:30 in the morning. I have been passed – it's a 30 or 35 mile per hour – they've changed it a couple of times so I can't remember. I've been passed doing 30 miles an hour at 5:30 in the morning on Maple Hill. It's dangerous just to drive it anyway. You have washouts, dangerous curves, deer moving. I've personally had to stop, middle of the road, for a deer nursing. I have it on video. A deer is just nursing in the middle of the road at 5:30 on Maple Hill. You just never know what you're gonna see.

I love being able to see a lot of the kids that live in the apartments by Publix. They are always out there playing. I see people riding their bikes and stuff. I enjoy that. I was living in apartments for awhile and man, it felt great to buy a house. I think I might be the youngest one in here. I share a lot of concerns with the community and I haven't been here long, but I've seen enough. I would respectfully like to ask that people take into consideration that the infrastructure is not there. Thank you.

R. Derek Dodson, 106 Chapman Drive: I just got in from the penguin races in the next state of Greenland. I realize that y'all may think that I've tried to draw a turtle here (pointing to drawing he was presenting). I also realize that y'all may be thinking that I tried to draw that if Councilor Morehead and Councilor Bryan had a baby, the gender sign of that baby. What this actually is, is a depiction of the diabolical scheme to have y'all all ran out of town. For you, Councilor Crowell, that would mean back to Bedford Falls under the thumb of Mr. Potter. What this is, is Maple Hill Road. So, Maple Hill Road already has this half of a Nazi sign right here.

Then, the developer wants to add this roundabout increasing the obstacle. So, if that happens, the people driving Maple Hill Road, such as folks taking their kids to Friendship School on this main thoroughfare between Coles Ferry Pike and West Main/Hwy 70, they will be cussing y'all each and every day the whole time for creating this obstacle course, additional obstacle course for them.

Y'all are responsible for the zoning template of the entire area of 700 plus acres on Maple Hill Road. Not just this 246 acres plus factoring in that Maple Hill Road is a critical link between the Coles Ferry Pike corridor and West Main/Hwy 70. This decision is about maximizing or minimizing the future traffic both on Maple Hill Road and at the intersection of Hwy 70/West Main. If the 246 acres stays in the county zoning, then y'all have served the long-term well-being of this area. Today is January 6<sup>th</sup>, the 5<sup>th</sup> anniversary of the date that the president led a violent insurrection against police officers at the Capital seeking to overturn an election.

S. David Pearce, 1031 Maple Hill Road: I've been a resident of Maple Hill Road for the past 30 years going from Summerfield moving on out the road a little bit and built a property there. My builder is sitting back here at the back of the room and I support those guys too. My mother was a developer in this city and county for many, many years. I know growth is not going to be something we can outdo. I mean that's going to happen over time.

The thing is, I sit there and if anybody ever drives down Maple Hill Road, I'm out there at the end of the road. I'm working on my property. There's a lot of traffic that flows through there. Of course, we all know that. Just recently, we added on the addition of the cut through from Farmington. What we've already seen there is the additional traffic that's coming through there that people are cutting through the properties to be able to get out there to Maple Hill Road. There's several times I've called Lee (Clark) personally, that we've got holes in the road out there. We need pavement. Like they've talked about several times, the water, especially myself and the Siens. We're the last two pieces of property right there before it ends for the city water.

There's many, many times that we don't have any water because right up the road there at Carver Lane it's shut down because they're doing the repairs of every time something goes on there. Then you've also got the additional traffic that's coming in off Coles Ferry. I don't know if you've ever tried to turn off of Trice Road onto Coles Ferry, either coming in or going out at nighttime, but you can't see there. It's very dangerous when you try to come off. It's a curve there off the side of the road. You start to look at things and I think that's what we're really looking at here is that I know these folks here want to sell their property. I've got no problem with that. I think we do have to look at the square footage making sure because we're going to set a precedent today. If you decide to go with this, because there's additional property down that road. There's a couple of hundred-acre farms that's right there at the curve across from the Crockett property as well. What does that set the precedent going forward? Five, ten years from now when those folks decide to do something there as well.

We're looking at additional property there too. So, my ask of the city is to look at the infrastructure really. Let's go from one end to the other and we have to address those things. We have to address the water lines. We have to address the roads. As far as this committee goes tonight, again, you're setting a precedent moving forward with this piece of property with that amount of acreage. So, I just ask that you really consider that before moving forward. Thank you.

T. Chris Jackson, 416 West Main Street: I'm just going to say real quick, I appreciate y'all letting us come out and speak tonight. I am for this. I work with a local builder and I think this is a great opportunity for us. Looking at the numbers at some things, I just want to mention

that 79% of every dollar we spend stays with Wilson County vendors and subcontractors. That's a lot of money. So, I think it's a great opportunity to keep this going. Growth is going to happen regardless. So, why not keep it here and do it appropriately? Thank you.

U. Kelly Stadther, 109 Springfield Drive: I moved here 12 years ago from Franklin. This sounds very familiar to me. I have been in front of this council before fighting for what I believed was the best thing for this area and for where I live. I thank y'all because I think you've made responsible decisions in the past and I believe you will make those tonight. Traffic is always a concern and I hear all these people from Maple Hill. For the last three weeks, I've done my own sort of traffic study just for fun. Last night at 5:30 I came back from Publix. I make a point of going Maple Hill all the time now. Last night at 5:30 from Publix to Farmington Woods on Maple Hill, one car. Every day I drive Maple Hill now. I work from home and I've been pretty much home the last few weeks. Every time on Maple Hill, I've not counted more than four or five cars. I'm sure there are times that it's much higher. I knew I'd get laughter. I'm sure that there are times that it's much higher but I've driven intermittently throughout the day, in the evenings, in the mornings. The most cars I've ever counted is about five or six that I pass in that short two miles. So, I know that traffic is always a concern.

Secondly, in reference to whoever talked about people passing. Even in Farmington Woods, when I try to turn right into my driveway, people will pass me on the left. People drive crazy and I don't that needs to be sort of part of the conversation.

The things that I see that haven't been talked about tonight are the park, the walking trails, the beautiful development that is going to be accessible to children and families, a safe place for people to walk, and an extension of their homes and where they live to be proud of. Growth is inevitable. We're not going to stop it. You tonight have the ability to make some really important decisions about how we proceed forward with this. And I trust that you will do the right things.

The money that I hear all the time and I've said it myself; we need better restaurants. Thank you, Aubrey's, for coming here. We need more sit-down restaurants. We need more places to shop locally. Stop spending money in Mt Juliet. Keep it here. The only way we get those restaurants is with people, with new homes, and with people who can afford those restaurants. That means the kind of housing developments that Summit is talking about putting in. That brings restaurants. That brings people. No more, drive-thrus and Target is coming now. Sam's is here, but we need sit-down restaurants and the money that these homes will bring in will bring the right kind of businesses to this area. Thank you for your time tonight.

V. Wayne Powell, 1413 Sugar Flat Road: I'm with Larry Powell Builders; third generation Wilson County builder. I actually share a property line with Mr. Neal. We're a local builder and all our subcontractors, for the majority, are right here in Lebanon or Mt. Juliet, Wilson County. Our vendors are here. We buy from Fakes & Hooker, Lebanon Distributors, Burdine Supply; they are all local companies. All of our people reside here. We want to keep our business here. We don't want to go elsewhere to build. Why go elsewhere? We can build five minutes away from our office. My office is right here on Lebanon Road.

I'm not going to beat a dead horse with a bunch of statistics and everything. Just keep something local for us. We're not national builders. We're just trying to put food on our table like everybody else is. So, thank you.

W. Ryan Stephens, 530 Five Oaks Blvd.: I'm a Lebanon resident. These (referencing two gentlemen on either side of him at the podium) are two other builders here with me. I've been a builder in this community for 20 years. I think something that has changed in our dynamics of building that's worth talking about is when I first started building years ago, you had an opportunity to go and pursue lots in independent developments. Whether it was Five Oaks, Plantation South, Geers Place, or Shenandoah. You guys have seen that. And it's safe to say that in my 20 years of building and my 45 years of living here, this community is not what it used to be. It's not. And I think in the voices that you've heard tonight, everybody has an interest that they stand on that they've seen where this community has changed and it's not what it used to be. That doesn't mean that it's changed for the worse, but in the process of changing we have to kind of move and adapt with that. Well, now in that adaptation as a builder, we don't have independent developments anymore. Those developers don't exist. So, the only development you've seen going on is the tract builders. So that's affecting us and our ability to pursue and get lots. That's also affecting the local consumer who doesn't want a tract-built home. They don't. And they say, "Well, this development is going on over here. Maybe we can go get a lot in there". Absolutely no. Those proprietary developments are not allowing those local consumers the ability to build a custom home, to pick a floor plan on a specific lot that they want. It's not available. Then, some of what we've heard here tonight talks about the density. They say, well, let's leave it in the county. Okay, fine in theory, but what that means is we're now no longer utilizing the sewer system for those developments.

I don't know if you've picked up the paper here recently and read the news, but Adenus is not exactly doing a great job with their wastewater on-site disposal systems. So, if we think that alternative solution is fixing the city's problem, it's not. It's compounding it. We're going to be sitting in here a couple of years from now talking about all the wastewater contamination we have in our streams because the alternative measure that exists in the county doesn't facilitate and work. And then I think, in closing, much of what these guys are doing within their development is they are increasing the infrastructure needs that we have. Part of the infrastructure problems that you have with growth gets fixed with more growth, right? Most everybody that's sitting in here is not wanting a property tax increase, are we? No. Because if we said we're going to have a property tax increase, the number of people that would be in here would be a lot greater in opposition to that. So, the growth that this facilitates helps to pay the bill for what we see in ours needs for infrastructure. Thank you.

X. Bobby Eastland, 661 Brown Road: I live in the county. I'm a local builder. I second what Ryan just said; a lot of the same information, so there's no need for me to rehash that. I will tell you, Ms. Stadther, I built their home 12 years ago. I think you said you've been here 12 years and she lives in Farmington Woods. We build in Farmington. We build in Forest. We built in numerous subdivisions in the city. There's one person here that made a comment earlier. I'm not for sure who did, but they talked about the builders and the simple interest that it all boiled down to the money. The fact of the matter is that we've been in business 31 years. For 31 years, we've built in this community along with the county. We do build in other surrounding communities such as Sumner County. We're building in Hartsville today, but it is like Ryan said. It's harder to find lots. There are no more George Thomas' and Emory Mays that are going to invite us and sell lots to us. We're competing with the national builders on a daily basis and we're getting squeezed.

If I were in a position today starting out all over again, there's no way that I could do what I did 30 years ago. There's no way. I've got a son that's in this room today and newly into this

business by two years. He graduated from Middle Tennessee State. I'm proud of him. Very proud of him. But if he had to walk the same path that I did 30 years ago, there's no way that he could do it, because the national builders are squeezing it. There's no opportunity for us to get lots until we find a small foothold and somebody like Wayne Miller with Summit Development Group that is offering us a chance to come in here and build in a local environment.

It is about the money. Not so much for me. I'm actually looking at the days to carrying on where I can go swim at any time of the day that I want, you know, Phil. But the new generating of your local home builders, they're still out there and they've got to make and sew their own oats. We have 23 full-time employees. Those are people that are living in our community that depend on salaries that are spending money at retail establishments, that are going to shop at Publix, etc. That 23 employees is a drop in the bucket as compared to the countless number of subcontractors that we hire. They're not employees, but they're hired and they work for us on a regular basis. Mr. Stadther, he's one of them.

Mayor Bell announced that Mr. Eastland's time was up.

Y. Jordan Fleming, 110 South Cumberland: I'm just going to echo on the heels on behalf of the local builders. It's getting harder and harder. Collectively when Wayne and Summit came together, the only way that we can keep it local is if we collaborate and get a group of local builders to be able to do the horsepower to work this project. The national builders are boxing us out where we're scratching and clawing. The product that's been presented by Summit is a good reflection of the people that are in here. The all brick, the higher end, is something that can be proud about.

Going again with what Bobby says, this year hasn't been the best year but we're trying to do everything we can to keep our people busy, create and get innovative to make sure that all of our employees, all of our subcontractors, our local banks continue to move and keep everything going. I think what product they want to be putting out there is one what we'd love to participate in. He's up here saying it's going to be a collective, local resources so the ask is that you guys consider that and help keep us going. We're trying to plant seeds. It's not like we're going to start building in 2026. We're here trying to present for the next generation like Bobby's son. We're talking about, you know, two years from now. And that's what we're here as a vested group doing is trying to secure some lot position because it's gotten harder and harder and try to command, you know, scratch and claw for a couple of lots. So, I feel like the project that Summit's put together is a benefit and a value add. I feel the people that are here are the ones that should benefit and get the opportunity to work in it. Thank you for your time. I appreciate it.

Z. Bart Netherland, Summit Development, 8650 Coles Ferry Pike: We knew early on that the first thing that we were going to have to overcome would be infrastructure and traffic. We want to do the right thing. We want to put these lots on the ground. One of the things that's required in CDs is that you do a traffic study. We've already done a traffic study (holding up papers). The city won't review it because we're not to the point that it will be reviewed in that process, but we wanted to get ahead of it. We wanted to look at what the data is and what the real numbers are.

I've hit on this once before, but we did study many different intersections around town. Obviously, out of our study, the worst intersection is at Maple Hill and Hwy 70. Right now, in the background of our study, we look at other developments that are coming in. There are three other developments that were considered. One of them is called The Hudson. It is right before the

railroad tracks on the left on Maple Hill. They're required to make improvements at that intersection and on Maple Hill. They haven't done it because they're about to expire on all of their entitlements. Their developer got entitlements and they didn't put the lots on the ground. They did it and we don't really know what's going on there. It's kind of the same thing on Carver. A developer secured the property. They went in, did some work, but they didn't actually put the lots on the ground and secure them.

Right now, it does show that there's traffic there and it's not the greatest at West Main and Maple. We're open to working with the city on solving some issues there at that intersection. We would be open to working with you at the time of construction to look into that.

Another thing is, we've talked about infrastructure, water, and different things. I can tell you right now the PVC that we're putting in the ground has a 100-to-120-year life expectancy. You will see some leaks starting at 70 years. That's a long time compared to the aging infrastructure around town. Sewer is heavy wall SDR26 pipe. It's a 100-year minimum on that. When it does fail, we can go in and slip line that pipe. You don't have to dig it up like the aging clay pipe around town. RCP drainage pipes; that's a class three concrete pipe, 150-year life expectancy. That's a lot longer than your metal culverts that are deteriorating around town. We're committed to making pump station improvements, other major, very significant utility improvements around town. We're excited. We're looking forward to it. We're hoping we can set a new precedent and have some very nice lots and a very nice community. Thank you for your time.

AA. Charles Montgomery, 814 Maple Hill Road: First of all, I want to say thanks to everyone here tonight to allow us to come up here and express our views and thoughts about this projected or proposed program by Summit. I live on Maple Hill. I purchased 25 acres there 41 years ago. I bought there because I wanted a rural environment. I didn't want to be stuck ten feet from another house or twelve feet like is going on today in most of our construction. I enjoy it there. I like the peace. I like the quiet. I don't like the traffic.

The buzz today in Lebanon seems to be the aggravation and frustration that people have about traffic in Lebanon in general. Not just Maple Hill Road. The lady over here said she counted four or five cars on Maple Hill Road in the rush hour time. I travel the road every day. I live there. Me and my wife in a 45-minute span time at 2:00 in the afternoon counted almost 200 cars. My house is almost strictly across from where Carver Lane comes to intersect Maple Hill Road. At that point, almost 200 cars. I seldom can go to Maple Hill to Main Street or Hwy 70 and traffic not be backed up to the railroad track and I've seen it further than that. That intersection, I'll agree with the gentleman earlier, it's probably one of the busiest and probably one of the most dangerous too because you've got traffic coming out of Publix. You've got it coming out of Snow White. You've got it coming out of the car wash on Maple Hill Road and it's very dangerous. People get frustrated. I see them running lights every day because they're frustrated with the traffic and putting people's lives in danger. That's what should be important to y'all; the safety of the citizens.

So, these 311 homes – I think would have a severe, long-lasting impact on our community. I know there's a lot of builders here and I know some of them; some of them are my friends and I'm not for putting anybody out of business. But, you can't put a burden on another group of people to support someone else. The majority of the people are not for this. This is a massive, high-end construction....

Mayor Bell announced that Mr. Montgomery's time was up.

Mr. Montgomery responded: I'm sorry. I had a lot more to say. I hope that you'll listen to the citizens here today and what their concerns are.

BB. Chad Stadther, 109 Springfield Drive in Farmington Woods: I've talked to a lot of my neighbors in the past few weeks and overwhelmingly in Farmington Woods, we have support for this build. I'm a local contractor. I work with Bobby Eastland and Ryan Stephens and this means a lot to my family. It means a lot to the people that work for me which live in this community and their children go to school in this community. It's very important that we keep in mind that if you vote this down tonight, within the year someone else will be standing here proposing something else and I can assure you that it won't be near as good. That's all I got. Thanks.

CC. Christian Macari with Summit Development: Thank you for having me. I just wanted to make a few points. One, infrastructure, right? Everyone's complaining about infrastructure and I just wanted to put it on the record that as a development professional who's worked in your community and across Middle Tennessee, I've had the privilege of working with an army of politicians, attorneys, engineers, land planners, city staff, including the ones that work here in Lebanon, to solve infrastructure problems and plan for the future in that regard. I think you guys do a great job. I just wanted to put that on the public record.

I just wanted to highlight from our perspective what we believe is responsible growth and how we've written it into our zoning and into the SP. Number one is density, right? The future land use is medium residential, three units per acre. There's 246 acres, 311 homes that we're proposing. That is 1.4 home per acre on the Haan property and it is 1.05 homes per acre on the Tatum property for a total of 1.26. If you look at your zoning code and really any other one across Middle Tennessee, that is considered low density.

Another thing that we're doing is we're creating nine miles of sidewalk for families to enjoy for public safety. We're also creating two and a half miles of multimodal greenway trails. That's a 12-foot-wide trail that you could ride a vehicle on if you want. You could take your Can-Am down there if you want or ride your bike or walk your dog or go for a run.

Public benefits from our perspective; we're creating a roundabout and we're extending Carver Lane. That is a massive multi-million-dollar investment that comes out of our pocket for public benefit. To sewer the property, we will be required to put in a new regional pump station that's millions of dollars and take two aging pump stations offline. That's a public benefit in my opinion. As far as neighbors and abutters, we are going to have landscape buffers and we are going to preserve tree canopy. We're also going to create new tree canopy, because that's part of your new regulation and responsible growth that you're doing. On the Haan side, we're going to do right of way to right of way grading, so the character of the land will be preserved. We are not going to mass grade and mass clear that land. It's going to be beautiful. We are going to deed restrict both properties to have a minimum of 2,300 square feet under roof. That eliminates a lot of the builders that these guys were complaining about, right? Architectural restrictions; we're doing 75% brick, four-sided on the homes.

Mayor Bell announced that Mr. Macari's time was up.

DD. Patrick Ritter, 1273 Trice Road at the dead end of Trice: I appreciate your time. I am against the annexation. I'm specifically not against the annexation, I should say, because I agree our sewer systems are a mess. We have a school that can't even flush their toilets without having their sewer pumped every day. I'm not against the annexation. I correct myself. I'm against the high density. I think some fact checking should go on. I believe I just heard Mr. Macari say something about one house per acre and I believe the original proposal was 8,500 square foot lots. It's now been amended to 10,000-foot lots. The math doesn't add up for me, so I'd ask someone to check that math because I believe I heard one house per acre just moments ago.

I would be fine with the current 40,000 square foot per lot. I would implore anybody that's not in this for money to give a large percentage, 50% or more to the local children that are in need. I know there's a lot of people who say they're not in it for money and if that's true, then let's give it up to the kids.

Another thing I'd say; the contractors here, I respect y'all. I've bought houses from several of these guys that build fine homes. I'd like in writing the percentage of contracting that will be done locally because sometimes..... I have nothing against Summit, I don't know them from other contractors, but I've seen plenty of this in my career that it all sounds good on the front end and we're all friends. But until the contracts are written, who knows who is getting the work. I will step down. I took half of my time. I appreciate your time. Thank you.

EE. Deb Varallo, 608 Ridgecrest Lane: I'm a new Wilson County Resident of six months. I've really enjoyed it out here. Thank you very much. I think I bought the smallest house at Five Oaks, so I don't have a lot of acreage but I'm very happy to be there.

First of all, I have a marketing and public relations firm. We work with a lot of different companies and developers throughout Tennessee. I only work with those that I know are very responsible builders and developers. The reason I am working with Summit Development is because I respect what they are doing with this project. I am very pleased how they have taken into great consideration what they can do to it because I deal with roundabouts, how you can use those to make traffic flow a lot quicker and easier and safer. It's just that people have wrecks when they don't understand it yet. That's what it is, okay. I am glad that they're putting in the sidewalks. I didn't have that at my house in Old Hickory, Tennessee. So, I'm glad to see that. I see a lot of good responsibilities and I've seen a lot of bad builders in the past. Summit is excellent. They're doing a real good job. They've communicated with the neighbors. They've sent out letters and emails. They've invited people to meetings. They've tried to meet with everyone they can. They've been very responsible and it's only 1.4 or 1.5 homes per acre is what I think Christian said.

I just think that I am for it. I think this is great. We have to have responsible builders, responsible growth, and it's going to be local. Thank you very much.

FF. Wayne Oakley, 234 Carver Lane: I am going to ask that you guys separate these two developments and there's a number of reasons why. The first is you are talking about two totally different densities of development between the two. I don't think they should be linked or lumped in together as one, especially when they are separated by what is becoming a main road. That Maple Hill Road is becoming a main arterial road.

Also, I love these builders back here. You know I would with a lot of these guys, but if they are truly wanting to build the best houses, why not make both properties the same as the Tatum property? I don't think there's anybody in this room who would be upset if the Haan property was proposed to be developed the same as the Tatum property that would match

Farmington Woods. Farmington Woods is wonderful and I'm sure – I forget the names of the two developments between the two properties – but the Tatum property, an extension of that would be great.

One thing I have a problem with is the square footage that's listed. If you look at that, it says under roof. That means garages, porches, and any other type of roof element. So, if you take a 2200 square foot minimum under roof, what is the living square footage going to be? 1,600 to 1,800. That's why they're asking for third acre lots. Which I agree with Patrick, the math does not add up. I guess it's common core math that I never understood and I stayed in Mr. Hutto's office for a whole third grade year over it.

Schools. One thing that has not been really talked about is schools. These two developments, per Jeff Luttrell, on how they say they determine if they need another school means an additional school just for these two developments. Now, where is all the traffic going to go to get to the schools? Where are all of our schools except for two located currently? Just a couple of blocks from here. Have you been on Hartmann Drive at 7:30, 7:00 – 7:45 in the morning? Bless Kristen's (Rice) life. She's trying to figure it out, but it's too much traffic. And this is going to do nothing but add a lot more traffic in that area. So, I just ask you to separate the two, consider the Tatum property for the Haan property and let's get a true development that everybody can be proud of. Thank you.

GG. Gail Montgomery, 814 Maple Hill Road: I just wanted to add something that I don't think has been considered or spoken about is the water runoff. We bought our property; we've been out there 40 years. We have 20, well we have 19 acres now. We knew there was a water problem when we were building because we saw it and we took care of it. We never complained about it. We just took care of it. We have what I call a "dry creek" that runs down in front of our house that takes care of all the water. Under normal rainfall conditions (sorry I'm going to have to read this), we have upwards of 16 inches of water that comes across our yards. Most of this comes from the northwest side of the property on Carver Lane. Now, we are seeing water pushing up from underground, likely from a natural spring. I doubt that any of this has even been considered. An extensive study needs to be done on this before a major project of this size is approved. If this development moves forward, that water has to go somewhere. It will be our homes and our land that are affected and who is going to pay the price for that?

Also, in a recent interview with Wilson County Mayor highlighting 2025 accomplishments, this statement was made and I quote, "We continue to have conversations about farmland and our history of agriculture." We were also promised that growth would bring meaningful improvements to our community. Instead, we are getting car washes, liquor stores and Dollar Generals while our roads and services fall further behind.

I urge you, the council, to protect the people who already live here. This annexation is not in the best interest of Maple Hill Road, Carver Lane, or the City of Lebanon and Wilson County. Please listen. Please listen to the concern of the citizens of Lebanon; not to the voices of people who have no interest in this town. Thank you.

HH. Tayler Eastland, 600 Ambers Way: I am Bobby's son and I understand that I have a great opportunity in this town, but for a lot of these guys, they don't. And we don't want to compete against each other. Just like he was saying, Hartsville. Jordan Fleming and I went to the same auction. We didn't even know we were going to be there. We don't want to compete against

each other. This development allows all of us to build together. It's the national builders that are truly against us.

Tim Tomlinson's wife; she was my fourth-grade teacher at Friendship Christian Elementary School. The fact that I can not only work in Lebanon, but have the opportunity to grow up and build houses here, as well. We don't want to go to Hartsville. We don't want to go to Murfreesboro. We want to be here. Andy I've actually had the opportunity now since graduating, to build two houses for people that their kids go to Friendship Christian as well. I didn't think that was going to matter to me, but it does. There's something about that family aspect of living here, growing up here, then helping the next family grow up here that is actually special to me. Thank you.

4. Request by Staff for zoning code amendment approval to add 14.1212 Vested Rights to specify the type of development plans that will cause property rights to vest **(Planning Commission recommended approval by a vote of 9-0 at their November 17, 2025 meeting)** (Reference Ordinance No. 26-7341).

No comments were made.

The January 6, 2026 Public Hearing was closed at 7:15 p.m.

**REGULAR CALLED LEBANON CITY COUNCIL MEETING**

**January 6, 2026**

Mayor Rick Bell called the Regular Called City Council meeting to order at 7:15 p.m.

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Invocation was given by Lee Clark

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Tick Bryan led the Pledge of Allegiance to the United States Flag.

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Council members present: Councilors Joey W. Carmack, Geri Ashley, Camille Burdine, Chris Crowell, Tick Bryan, and Phil Morehead. Also present at the meeting were: Andy Wright, City Attorney; Stuart Lawson, Commissioner of Finance and Revenue; Lee Clark, Public Works Director; Kristen Rice, Executive Director of Engineering & Planning; Regina Santana, Utilities Director; Josh Stahle, Senior Planner; Chief Mike Justice, Lebanon Police Dept.; Tonya Jones, Exec. Admin. Assistant; and Kristen Ragsdale, Council Secretary.

Absent: Chief Jason Baird, Lebanon Fire Dept.

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**APPROVAL OF MINUTES:**

Motion was made by Councilor Morehead, seconded by Councilor Crowell to approve said minutes for December 16, 2025 – Regular Called City Council Meeting

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**COMMUNICATION FROM CITIZENS:**

1. Derek Dodson, 106 Chapman Drive: I would just like to simply state with regard to commentary that I’ve just now heard that you folks are not estate planners. You’re not real estate agents on the city council. And, thankfully, we have good local builders, but you’re not here to serve their interest. You’re here to serve the next thousand to a million years of how that area develops, which again is over 700 acres without even counting the thousands of acres in the Coles Ferry Pike corridor, which use Maple Hill Road as a critical link between Coles Ferry Pike and Highway 70. Thank you.

2. Cynthia Lynn, 833 Maple Hill Road: Thank you for allowing me to step back up and speak again. I do want to add one more thing to what I spoke about earlier. There are several projects in our area within a mile of this project that are still going on. I went around to them today. There are actually four ongoing projects on Carver Lane that will actually very much impact what goes on on our traffic and infrastructure if you add it to what they are planning on doing. If all of these are still going on when they start building, there will be five projects within a mile in my area that are going to be working. If y'all know how houses are built and the vehicles that come into that; building decks, building on the inside, putting windows in, putting shingles on, that's multiple vehicles per house. Once again, I'm asking – I do believe everybody has the right to sell their property for what it is worth. However, I've lived out on Maple Hill for over 20 years, and I'm asking that if this goes through for y'all to make it where we don't have houses sitting on top of houses and 500, 000 more people in our neighborhood. Thank you.

3. Gail Montgomery, 814 Maple Hill Road: I would like to say also; I mentioned the water problem. It is a problem and there's something underground, so I'd like for you to at least consider that and I'd like to hear an explanation of how that's going to be – something's going to be done about that because I know it's going to happen.

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#### **COMMUNICATION FROM MAYOR:**

I do have a couple of announcements tonight. The first one is this. There's an opening on the Board of Adjustments and Appeals. Tonight, I'm announcing that Reid Hinesley has accepted a position on that board. This board has a requirement that you either should be an engineer, architect, or a contractor to serve. So, Reid has agreed to serve on that board and I appreciate his willingness to volunteer for that.

The next announcement is some sad news. Randy Rollins who has worked at the Gas Department for over 20 years passed away a couple of days ago. He was a long-time employee here at the city and worked hard for us and I just want everyone to remember him and his family as they go through this time. Everybody at the Gas Department loved Randy and please keep them in your prayers. That's all I have.

\*\*\*\*\*

#### **REPORTS FROM COMMITTEES / ALDERMEN / OFFICERS:**

1. Councilor Joey W. Carmack: I want to thank everybody for coming out tonight. This is how we make decisions and you know, being an elected official, you make tough decisions. You have to make hard decisions and listening to all of y'all. I'm glad y'all all came. I've said time and time again sitting up here that I'm tired of the national builders coming in the city and to overrun it and then leaving and not caring what they left behind. I believe these local builders - I know them, went to school with them – will do the best thing for this project. We've been working on this project for over a year. There's been multiple changes and there's even more that I'm proposing tonight that will go into the SP that the developer is going to have to do. I thank you all for coming out and I will vote my appropriate vote and make my motion at the appropriate time.

2. Councilor Geri Ashley: I just wanted to say that I appreciate everyone coming out. I think that we are always grateful to hear from the people in the community. I know that I've heard a lot from people in the community regarding this issue and from my perspective and I believe from the rest of the council perspective, this is not anything that any of us take lightly. There's a lot of work that goes into this. There's a lot of plans and meetings with developers and our Planning Department and our Engineering Department and asking questions. Again, it's a big deal but I think, I hope that people have the confidence that we put a lot of work into the decision-making process and we don't take any of this lightly. Thank you.

3. Councilor Camille Burdine: I just want to repeat, I appreciate everybody coming out tonight. It does make our job a little easier when we do see faces that we're looking at. You know, we do have to make hard decisions and not going to please everybody all the time. Again, I'll ditto what Geri said, this has been going on a long time. There are many meetings. It doesn't start here; it ends here. I know that this group has had a couple of neighborhood meetings. They have gone through the SP Committee more than once, unfortunately, I'm sure they think. And they've gone through Planning. We don't just make a decision here. We do the research. We do really appreciate everyone coming out. Whether you live in the county or not, we do want to hear what you have to say because unless we put a moratorium on growth, there's always going to be growth in our community. And I think we're doing the best we can with the traffic, with our infrastructure, and we are holding our developers accountable when it comes to doing the sidewalks, doing the pump stations, doing new sewers, and that's the not very exciting things, but that makes the biggest difference to all of us as we've heard here tonight. Again, thank you for coming out and I wish everybody a great new year.

4. Councilor Chris Crowell: Thank you, Mayor. I want to also thank the Mayor and Lee (Clark) and all those who came out to Stonebridge today. We had a little accident out there and the city responded quickly and it's always good to see folks responding to local issues in a quick manner and making sure that things are taken care of and done the right way. So, I appreciate all of those who worked on that.

I just want to make a couple of comments tonight. You know, this is how a lot of us get started in public service; speaking passionately about something that we believe in. That's how I got started. It was a meeting like this where I got up and spoke my mind at that podium right there. Unfortunately, what I advocated for didn't prevail. So, I decided to seek a position on the city council and have been blessed enough for the people of Ward 4 to select me on a couple of occasions. I appreciate that and don't take that for granted at all.

As I'm making notes, I made a note about everybody that came up here tonight and I counted 37 different ones. A couple of people got up and spoke twice, but 37 times and that ended about 7:15. So, we can't say that we haven't heard from the public on this issue and that's really what we want. I also say that I serve as the designate from the city council on the Planning Commission so I also got to hear this there. I also got to hear it a couple of times at the SP and Annexation Committee and another council person referenced that that had taken place. I'm glad for the process and I also not only want to thank everyone for coming out and participating tonight but also the ones who have participated all along. I've seen some of these people I think five times now and I guess it's a credit to their integrity that the story was the same all five times. Maybe to mine a little bit, too, that I took notes each time. I think that's part of what's supposed to happen

here. You know there's also 100% chance that there are going to be people who attend the meeting tonight who I will make mad. I'm going to make somebody mad, right if I make a decision and I'm gonna make one.

I guess a couple of other comments here. I think the proposal and it's been mentioned a couple of times about two different pieces of property, one on one side of the road and one on the other. That was something that actually came through the SP and Annexation Committee and it was one time two separate ones and it was recommended that they be combined and analyzed as one project. That was something that came through the process. So, I appreciate Wayne and the owners and everybody endeavoring the marathon which is trying to get through this process. I think it's healthy. It's healthy for everybody to see it. It's healthy for everybody to participate in this.

I don't think I've ever seen this many local builders out to support a project. I really appreciate that, as well, because we wouldn't have good, quality houses in our community if it weren't for the local builders. So, I think that's a critical piece of what we're seeing tonight. I would like to see more homes built by local builders in our community. There's no question about that. One of the things that people who follow my tenure on the council will note is my concern about annexations. Our city is over 40 square miles and it's one of the largest small towns, if you will, in the state of Tennessee. We're almost twice the size of Mt. Juliet at 22 square miles or something like that. One of the concerns I hear from my constituents who I'm here to represent is about the size of our city, a lot of the annexations that have occurred, some of them were before I came on the council, some of them while I've been on the council. But, it's become more and more of an issue from the folks that I represent. So, that's a big concern for me is the fact that this particular project does include a significant annexation. And so that's going to weigh on my position on this issue. And as we've said here, all of us and we'll continue to the last two fellow councilmen who will vote. We'll vote in a moment and there may be some more comments but I just again want to appreciate everyone who has participated in the process, who's come out not only tonight but throughout the opportunities to comment. This is what a community looks like that's growing and I guess we should; it's a healthy thing to grow. It's a tough thing to grow because we're not always going to agree on how we grow. But, it's important that we all participate, so I want to thank everyone that came out tonight. Thank you, Mayor.

5. Councilor Tick Bryan: Thank you, Mayor. I want to thank everyone that came out tonight, also. I've lived here all my life. How many have lived in Lebanon their entire existence? (many raised their hands) So, you remember back in 1972 when there were 12,000 people in this town. I do. That's when I was 14 years old riding a motorcycle. I wouldn't recommend that now to anybody. I also want to wish my granddaughter a happy birthday. She's 16 years old today and she got her driver's license earlier this afternoon. So, let's give her a big round of applause. (everyone clapped) Thank you and that's all I have.

6. Councilor Phil Morehead: Thank you, Mayor. This is tough. I know right now one of the ladies that got up and spoke, I actually think the number is a lot higher, but she said there's over a thousand units yet under construction that haven't even broke ground yet that have all been approved. There are, I'm sure, many more thousand that plans haven't even been submitted, but the zoning is already in place for properties that are within the city limits.

I also do agree completely with Mr. Miller in that the number of homes that are in the million dollar plus category is sorely lacking because as fast as they seem to be built, they're

snatched up. So, as far as the east side of this project, I'm completely on board and I suspect that would be the piece of the project that most of these local builders that are here today would be involved with. I am concerned strongly about the density on the west side of the road and the impact that's going to have on Maple Road and by listening to all of the residents that live there. I have only had the pleasure of calling Lebanon home for seven years, but these people that have been here many, many years, I do listen to what you say. I do take that to heart.

So, this is a tough call, but if this project were to come through in two pieces, I would support the east side of Maple Road, but have a real issue right now supporting the west side. That's all I have.

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### CONSENT:

**Ordinance No. 25-7324**, second reading, to approve a grant contract with the Tennessee Department of Environment and Conservation for playground improvements at Don Fox Park, to authorize engineering services, and to approve the related budget amendment, by Kristen Rice, Executive Director of Engineering & Planning and William Porter, Parks & Recreation Director.

**Ordinance No. 25-7326**, second reading, to approve a budget amendment for the Street Department to roll over funds for the purchase of a tilt front hitch, by Lee Clark, Public Works Director.

**Ordinance No. 25-7327**, second reading, to authorize the issuance of a refund to Bridgetown Foods due to gas overbilling and to approve the related budget amendment, by Chad Mueller, Gas Department Manager.

**Ordinance No. 25-7328**, second reading, to approve the Consent Decree in Tennessee Riverkeeper, Inc. vs. City of Lebanon, Tennessee, US District Case No. 3:23-CV-01369 and to approve the related budget amendment, by Andy Wright, City Attorney.

Motion was made by Councilor Morehead, seconded by Councilor Carmack, to pass said Ordinances. Motion carried unanimously. Ordinances were read and passed on second/final reading.

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### NEW BUSINESS:

**Resolution No. 26-2810**, adopting a plan of services for the annexation at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, and 21.01) to be added to Ward 1 (Request by Summit Development) (**Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting**).

Motion was made by Councilor Carmack, seconded by Councilor Ashley, to pass said Resolution.

Council voted as follows:  
Councilor Carmack: Yes  
Councilor Ashley: Yes  
Councilor Burdine: Yes  
Councilor Crowell: No  
Councilor Bryan: Yes  
Councilor Morehead: No

Motion carried by vote of 4-2. Resolution was read and passed on first reading.

**Resolution No. 26-2811**, annexing property at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, and 21.01) to be added to Ward 1 (Request by Summit Development) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting).

Motion was made by Councilor Carmack, seconded by Councilor Ashley, to pass said Resolution.

Council voted as follows:  
Councilor Carmack: Yes  
Councilor Ashley: Yes  
Councilor Burdine: Yes  
Councilor Crowell: No  
Councilor Bryan: Yes  
Councilor Morehead: No

Motion carried by vote of 4-2. Resolution was read and passed on first reading.

**Ordinance No. 26-7340**, first reading to amend the Official Zoning Atlas of the City of Lebanon, Tennessee, by requesting zoning approval of about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 parcel 18, 18.01, & 21.01) to Sorelle Hybrid Specific Plan to be added to Ward 1 (PN 1877386 & 1877423) (Request by Summit Development) (Planning Commission recommended approval by a vote of 7-1 at their November 17, 2025 meeting).

Motion was made by Councilor Carmack, seconded by Councilor Ashley, to pass said Ordinance with amendments by Councilor Carmack (read by Kristen Rice).

Kristen Rice read the following amendment. Councilor Carmack's amendments are as follows. Number one – require pedestrian connectivity to meet the code. Number two - require an additional connection to Carver Lane as required in the code. Number three – require a minimum building size of 2,300 square feet under roof to be added to the design standards. Number four – require offsite road improvements at West Main Street and Maple Hill Road intersection. Number

five – require a type A landscape buffer along the southern property line and the western property line along the trail in the Arden subdistrict, which is the west side.

Council voted as follows:  
Councilor Carmack: Yes  
Councilor Ashley: Yes  
Councilor Burdine: Yes  
Councilor Crowell: No  
Councilor Bryan: Yes  
Councilor Morehead: No

Motion carried by a vote of 4-2. Ordinance was read and passed on first reading.

**Ordinance No. 26-7341**, first reading, to amend Title 14, Chapter 8 Section 13 to add vested rights to specify the type of development plans that will cause property rights to vest (Request by Staff) (Planning Commission recommended approval by a vote of 9-0 at their November 17, 2025 meeting).

Motion was made by Councilor Carmack, seconded by Councilor Ashley, to pass said Ordinance. Motion carried unanimously. Ordinance was read and passed on first reading.

**Ordinance No. 26-7345**, first reading, to approve a budget amendment for the Police Department Local Option Fund for delayed vehicle orders, by Mike Justice, Police Chief.

Motion was made by Councilor Carmack, seconded by Councilor Crowell, to pass said Ordinance. Motion carried unanimously. Ordinance was read and passed on first reading.

**Ordinance No. 26-7346**, first reading, to authorize hiring outside legal counsel to represent the city regarding the Gasification Facility Matter, by Andy Wright, City Attorney.

Motion was made by Councilor Morehead, seconded by Councilor Crowell, to pass said Ordinance. Motion carried unanimously. Ordinance was read and passed on first reading.

**Ordinance No. 26-7347**, first reading, to approve budget amendments for the Street Department to promote light equipment operators, by Lee Clark, Public Works Director.

Motion was made by Councilor Carmack, seconded by Councilor Crowell, to pass said Ordinance. Motion carried unanimously. Ordinance was read and passed on first reading.

**Ordinance No. 26-7348**, first reading, to create budget for gas line relocation at Hartsville Pike TDOT Project, by Chad Mueller, Gas Department Manager.

Motion was made by Councilor Carmack, seconded by Councilor Crowell, to pass said Ordinance. Motion carried unanimously. Ordinance was read and passed on first reading.

The January 6, 2026 Regular Called Lebanon City Council Meeting adjourned at 7:37 p.m.

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Attest:

Approved:

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Stuart Lawson  
Commissioner of Finance & Revenue

Rick Bell  
Mayor

Secretary:

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Kristen Ragsdale

### Sorelle SP Amendments

1. Require pedestrian connectivity to meet the code.
2. Require an additional connection to Carver Lane as required in the code.
3. Require minimum building size of 2,300 square feet under roof to be added to the design standards.
4. Require off-site road improvements at W Main St & Maple Hill Rd intersection.
5. Require a Type A landscape buffer along the southern property line and the western property line along the trail in the Arden subdistrict.

**ORDINANCE NO. 26-7345**

**AN ORDINANCE OF THE CITY COUNCIL OF LEBANON  
TO APPROVE A BUDGET AMENDMENT FOR THE POLICE DEPARTMENT LOCAL  
OPTION FUND FOR DELAYED VEHICLE ORDERS**

**WHEREAS**, the Lebanon City Council passed Ord. No. 25-7222 on June 17, 2025, to adopt the 2025 – 2026 fiscal year budget; and

**WHEREAS**, a budget amendment is now necessary for the Lebanon Police Department Local Option Fund for the delayed delivery of vehicles and equipment approved in FY 2024 – 2025 relative to Purchase Order Numbers 86586 and 83664; and

**WHEREAS**, the required budget amendment is detailed on the budget amendment form attached hereto as if appearing verbatim herein.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, as follows:

Section 1. The Mayor and the Commissioner of Finance and Revenue are hereby authorized to amend the 2025 – 2026 fiscal year budget as follows for the purchase of police vehicles and equipment:

**Department: Police/Local Option**

From: 12890000-79000      Fund Balance      \$209,430.00

To: 12842100-79440      Transportation Equipment      \$209,430.00

Section 2. This ordinance shall take effect immediately upon its passage, the public welfare requiring the same.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

Passed first reading: 1/6/2026

Passed second reading: \_\_\_\_\_

**CITY OF LEBANON ACCTG. DEPT.  
BUDGET AMENDMENT FORM  
2025/2026**

<b>FOR ACCOUNTING PURPOSES ONLY</b>	
<b>BGT #</b> _____	
POSTED	_____
REF #	_____
INITIALS	_____

**DEPARTMENT** Police

**TRANSFER FROM**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
12890000-79000	Fund Balance	209,430	
	<b>Total</b>	\$ 209,430.00	

**TRANSFER TO**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
12842100-79440	Transportation Equipment		\$ 209,430.00
	<b>Total</b>		\$ 209,430.00

**REQUESTED BY** William Glover

**DATE** 12/17/2025

**DEPARTMENT HEAD** Mike Justice, Chief of Police

**DATE** 12/17/2025

**COMM. OF FINANCE** 

**DATE** 12-17-25

**MAYOR** \_\_\_\_\_

**DATE** \_\_\_\_\_

**REASON FOR THIS TRANSFER:**

To transfer \$209,430 from Local Option fund into transportation line. This BA is to replace PO86586 which was approved last budget year and vehicles ordered in budget 24/25. There were a extended delay and will take delivery in January. And PO83664 Ford explorer equipment and install invoice received after 24/25 budget was closed.

**ORDINANCE NO. 26-7346**

**AN ORDINANCE OF THE CITY COUNCIL OF LEBANON  
TO AUTHORIZE HIRING OUTSIDE LEGAL COUNSEL TO REPRESENT THE CITY  
REGARDING THE GASIFICATION FACILITY MATTER**

**WHEREAS**, the Lebanon City Council passed Ord. No. 14-4650 to hire PHG Energy Management Services for a feasibility study for a waste to energy program and Ord. No. 15-4849 to approve the Engineering Procurement and Construction Agreement with PHG Energy Management Services, Inc. for the construction of Gasification Project; and

**WHEREAS**, PHG Energy rebranded and is currently known as Aries Clean Technologies; and

**WHEREAS**, the Lebanon City Council passed Ord. No. 19-5804 authorizing a 35-day lease with Aries Clean Energy for feedstock testing and Ord. Nos. 19-5853 and 19-5862 to extend such lease through May 2019 and June 2020, respectively; and

**WHEREAS**, the Lebanon City Council passed Ord. No. 19-5959 to approve the Option Agreement and Lease Agreement for the Gasification Facility with ARIES GREEN, LLC; and

**WHEREAS**, it is necessary to hire outside legal counsel to investigate and pursue all legal options available to the city; and

**WHEREAS**, Title IX, Section 5 of the Lebanon City Charter requires prior approval of outside legal counsel by ordinance; and

**WHEREAS**, Bradley Arant Boult Cummings, LLP has been selected to provide such legal services.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, as follows:

Section 1. The City Attorney is hereby authorized to employ Bradley Arant Boult Cummings, LLP, for legal services related to the Gasification Facility matter. The Mayor and the Commissioner of Finance and Revenue are hereby authorized to execute an engagement letter for such legal services.

Section 2. This ordinance shall take effect immediately upon its passage, the public welfare requiring the same.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

Passed first reading:      1/6/2026

Passed second reading:      \_\_\_\_\_

**ORDINANCE NO. 26-7347**

**AN ORDINANCE OF THE CITY COUNCIL OF LEBANON  
TO APPROVE BUDGET AMENDMENTS FOR THE STREET DEPARTMENT TO  
PROMOTE LIGHT EQUIPMENT OPERATORS**

**WHEREAS**, the Lebanon City Council passed Ord. No. 25-7222 on June 17, 2025, to adopt the 2025 – 2026 fiscal year budget; and

**WHEREAS**, additional CDL drivers are needed in the Street Department to handle tasks that require a CDL, especially inclement weather related tasks; and

**WHEREAS**, budget amendments are now necessary for the Street Department to promote Light Equipment Operators without CDL to entry-level Light Equipment Operator with CDL contingent upon successful completion of CDL licensing requirements; and

**WHEREAS**, the required budget amendments are detailed on the budget amendment form attached hereto as if appearing verbatim herein.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, as follows:

Section 1. The Mayor and the Commissioner of Finance and Revenue are hereby authorized to amend the 2025 – 2026 fiscal year budget as follows:

<b>Department: Street</b>			
From:	11090000-79000	Budget Fund Balance	\$19,150.00
To:	11043110-71110	Salaries	\$15,600.00
	11043110-71410	SS & Med Tax	\$1,200.00
	11043110-71430	Retirement	\$2,350.00

Section 2. This ordinance shall take effect immediately upon its passage, the public welfare requiring the same.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

Passed first reading: 1/6/2026

Passed second reading: \_\_\_\_\_

**CITY OF LEBANON ACCTG. DEPT.  
BUDGET AMENDMENT FORM  
FY 2025-2026**

<b>FOR ACCOUNTING PURPOSES ONLY</b>	
<b>BGT #</b> _____	
POSTED	_____
REF #	_____
INITIALS	_____

**DEPARTMENT** \_\_\_\_\_ **STREET** \_\_\_\_\_

RCVD DEC 23 2025

**TRANSFER FROM**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
11090000-79000	BUDGET FUND BALANCE	\$ 19,150.00	
	<b>Total</b>	\$ 19,150.00	

**TRANSFER TO**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
11043110-71110	SALARIES		\$ 15,600.00
11043110-71410	SS & MED TAX		\$ 1,200.00
11043110-71430	RETIREMENT		\$ 2,350.00
	<b>Total</b>		\$ 19,150.00

**REQUESTED BY** Lee Clark

**DEPARTMENT HEAD** Lee Clark

**COMM. OF FINANCE** \_\_\_\_\_

**MAYOR** \_\_\_\_\_

**DATE** 12/23/25

**DATE** 12/23/25

**DATE** \_\_\_\_\_

**DATE** \_\_\_\_\_

BEFORE THE FACT       AFTER THE FACT

**REASON FOR THIS TRANSFER:**

We need additional CDL drivers in the Street Department to handle tasks that require a CDL, particularly during inclement weather. To address this, we are requesting funding to promote our Light Equipment Operator non-CDL drivers to entry-level Light Equipment Operator positions with CDLs, contingent upon their successful completion of CDL licensing requirements.

**ORDINANCE NO. 26-7348**

**AN ORDINANCE OF THE CITY COUNCIL OF LEBANON  
TO CREATE BUDGET FOR GAS LINE RELOCATION AT HARTSVILLE PIKE  
TDOT PROJECT**

**WHEREAS**, the Lebanon City Council passed Ord. No. 25-7222 on June 17, 2025, to adopt the 2025 – 2026 fiscal year budget; and

**WHEREAS**, it is now necessary to create the budget for the gas line relocation and pipe size upgrades at the Hartsville Pike TDOT project; and

**WHEREAS**, the required budget amendment is detailed on the budget amendment form attached hereto as if appearing verbatim herein.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, as follows:

Section 1. The Mayor and the Commissioner of Finance and Revenue are hereby authorized to amend the 2025 – 2026 fiscal year budget as follows:

<b>Department: Gas</b>		
From: 41590001-79010	Budget Retained Earnings	\$200,000.00
To: 415-16520	TDOT Hartsville Pike Gas Project GO12002	\$200,000.00

Section 2. This ordinance shall take effect immediately upon its passage, the public welfare requiring the same.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

Passed first reading: 1/6/2026

Passed second reading: \_\_\_\_\_

**CITY OF LEBANON ACCTG. DEPT.  
BUDGET AMENDMENT FORM  
FY 2025-2026**

<b>FOR ACCOUNTING PURPOSES ONLY</b>	
<b>BGT #</b> _____	
POSTED	_____
REF #	_____
INITIALS	_____

**DEPARTMENT** Gas

**TRANSFER FROM**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
4159001-79010	Budget Retained Earnings	\$ 200,000.00	

**TRANSFER TO**

G/L ACCT NO	ACCT DESCRIPTION	DEBIT	CREDIT
415-16520	TDOT Hartsville Pike Gas Project G012002		\$ 200,000.00

**REQUESTED BY** Chad Mueller

**DATE** 12/29/2025

**DEPARTMENT HEAD** \_\_\_\_\_

**DATE** \_\_\_\_\_

**COMM. OF FINANCE** *Stewart Johnson*

**DATE** 12-29-25

**MAYOR** \_\_\_\_\_

**DATE** \_\_\_\_\_

To cover the costs of design work associated with the gas relocation and pipe size upgrades on the TDOT Hartsville Pike project.

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**RESOLUTION NO. 26-2810**

**A RESOLUTION ADOPTING A PLAN OF SERVICES FOR THE ANNEXATION AT UNADDRESSED PROPERTIES ON MAPLE HILL ROAD AND CARVER LANE (TAX MAP 46 PARCELS 18, 18.01 AND 21.01) TO BE ADDED TO WARD 1**

**WHEREAS**, TCA 6-51-102, as amended, requires that a plan of services be adopted by the governing body prior to passage of an ordinance annexing any territory; and

**WHEREAS**, the plan of services shall be reasonable with respect to the scope of services to be provided and the timing of the services; and

**WHEREAS**, before the adoption of the plan of services, a municipality shall hold a public hearing; and

**WHEREAS**, the Lebanon Municipal Regional Planning Commission recommended approval of this Plan of Services to the Mayor and City Council by a vote of 7-1 on November 17, 2025 Meeting.

**NOW, THEREFORE, BE IT RESOLVED by the City of Lebanon, Tennessee, as follows:**

**Section 1. Pursuant to the provisions of Section 6-51-102, Tennessee Code Annotated, there is hereby adopted for the area bounded as described in the legal description section and attached maps of the plan of services:**

**January 20, 2026**

**UNADDRESSED PROPERTIES ON MAPLE HILL ROAD AND CARVER LANE  
CITY OF LEBANON, TENNESSEE**

The City of Lebanon, Tennessee, is pursuing the annexation of about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane as described in this report, along with a corresponding plan of services and zoning plan for the area. The area is inside the existing Urban Growth Boundary (UGB). This annexation is proposed to take place in 2026.

This report begins with a brief overview of the annexation process and the requests by the landowners for annexation. The report then turns to a proposed Plan of Services (POS) for the annexation area. The services described are those that would be necessary for the City to provide under Tennessee law. This area is proposed to receive City services in accordance with the POS.

**Introduction**

Public Chapter 1101 (PC 1101), adopted as Tennessee law in 1998, required cities to work cooperatively with other local governments to determine an Urban Growth Boundary (UGB) in which annexations could occur. Lebanon can annex property within its UGB by ordinance.

PC 1101 Section 19 requires a "Plan of Services" (POS) prior to annexation and a Plan of Services must include: police and fire protection; water, electrical, and sanitary sewer services; solid waste collection; road and street construction and repair; recreational facilities and programs; street lighting; and zoning services. Public Chapter 225 adopted by the Tennessee General Assembly and signed by Governor Bredesen on June 2, 2003, amended TCA 6-51-102 to include impact on school attendance zones.

The owners of the properties on unaddressed properties on Maple Hill Road and Carver Lane has asked the City of Lebanon to consider annexing their property.

### CITY OF LEBANON, TENNESSEE

Planning Commission Application  
General Information & Signature Pages



Title of Project Sorelle  
Street Location Maple Hill Road and Carver Lane  
Tax Map/Group Number 095 046 Parcel 02101, 01800, 01801  
Total Acreage +/- 246

Approval Requested:

- Residential Site Plan \_\_\_\_\_ No. of Units <sup>1</sup>
- Non-Residential Site Plan \_\_\_\_\_ Bldg. Sq. Ft. <sup>1</sup>
- Mixed Use Development \_\_\_\_\_ No. of Units  
and \_\_\_\_\_ Commercial/Industrial Bldg. Sq. Ft. <sup>1</sup>
- Final Subdivision \_\_\_\_\_ No. of Lots <sup>1,2</sup>
- Preliminary Subdivision \_\_\_\_\_ No. of Lots <sup>2</sup>
- Rezoning \_ Acres/From \_\_\_\_\_ to \_\_\_\_\_
- Specific Plan District 246 Acres
- Annexation 246 Acres & Zoning to SP
- Right of Way Abandonment \_\_\_\_\_ Acres
- Other \_\_\_\_\_

<sup>1</sup> Staff will determine if the Site Plan or Plat qualifies as a minor.  
<sup>2</sup> Lot counts must include any open space/unbuildable lots on the plat. Open space/unbuildable lots are also subject to the per lot platting fee. See current fee schedule.

Owner/Developer:

Name Summit Development  
Address 145 Bear Crossing Suite 310  
Mt. Juliet, TN 37122  
Telephone 615-336-9022  
Email wmiller@summitdevllc.com

Surveyor/Engineer:

Name RaganSmith: Heather Grimes  
Address 315 Woodland Street  
Nashville, TN 37206  
Telephone 615-244-8591  
Email hgrimes@ragansmith.com

Information required for all applications:

- All required information shall be submitted through the IDT Plans Portal.

I hereby attest that I have provided a complete application and included all of the necessary attachments as required. I understand that if information is incomplete and/or otherwise not provided, this application may be deferred until such time as the necessary information is provided.

Heather Grimes  
Signature of Person Completing & Submitting this Application

Date Application Filed: 9-23-2025 Date of Requested Planning Commission Meeting: 10-28-2025  
200 North Castle Heights Avenue • Lebanon, TN 38087 • (615) 444-3647 • Fax (615) 444-1515

Title of Project Sorelle


TCA 134-304(a) states, in part, "The Commission shall approve or disapprove a plat within thirty (30) Days after submission of such plat. By signing this application, the applicant (and owners as applicable) acknowledge that items for consideration by the Planning Commission shall be considered submitted when all required information, a completed submittal application, and fee have been received by the City of Lebanon by noon (12.00 pm) on the fourth Wednesday of every month. The Planning Commission agenda will be finalized approximately two (2) weeks after the submittal deadline. You may call (615) 444-3647 to verify placement of an item on the agenda.

Failure by the applicant to address all the requirements of the City of Lebanon Zoning Ordinance and or Subdivision Regulations may result in a deferral or denial of the proposed development by the Lebanon Planning Commission.

It is understood that approval of the proposed development is conditioned upon full compliance with all applicable regulations and ordinances of the City of Lebanon and conditions imposed by the applicable commissions of the City. In cases where the applicant is not the property owner, it is also hereby acknowledged by the property owner that he or she is in full agreement with the content of this application.

  
Signature of Applicant

Wayne Z. Miller

  
Signature of Owner (If different from applicant provide a copy of contract showing involved parties)

As the applicant or the applicant's agent, I understand that it is my sole responsibility to notify my client of the time, date and location of the Preliminary Planning Commission and Planning Commission meetings at which this application will be heard and to ensure that someone representing this item is in attendance at each of these meetings.

Special Notes: The City of Lebanon Planning Commission encourages Developers of any significant project to schedule a pre-submittal conference with the Planning Staff. This conference will include representatives from the Engineering Department and any other department as appropriate.

The Planning Commission also encourages Developers to host an informational meeting with the neighboring community prior to presentation of the project at the Planning Commission meeting.  
Has a meeting been held?  YES  NO

Wayne Z. Miller

**CITY OF LEBANON, TENNESSEE**  
Planning Commission Application  
General Information & Signature Pages

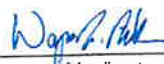


Title of Project Arden

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	09/19/25	<u>Robert C. Ham, Trustee of the Robert C. Ham Revocable Living Trust</u>
Signature of Applicant	09/19/25	<u>Mary Tom Ham, Trustee of the Mary Tom Ham Revocable Living Trust</u>
		Signature of Owner (If different from applicant provide a copy of contract showing involved parties)

As the applicant or the applicant's agent, I understand that it is my sole responsibility to notify my client of the time, date and location of the Preliminary Planning Commission and Planning Commission meetings at which this application will be heard and to ensure that someone representing this item is in attendance at each of these meetings.

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The Planning Commission also encourages Developers to host an informational meeting with the neighboring community prior to presentation of the project at the Planning Commission meeting.  
Has a meeting been held?  YES  NO

  
Signature of Applicant or Applicant's Agent

The following information is requested to comply with Ordinance 07-3203.

Title of Project Sorelle



**CITY OF LEBANON**  
**PLANNING AND ZONING**  
**INTEREST DISCLOSURE FORM**

The undersigned does hereby warrant and affirm, to the best of his/her knowledge and belief, that no employee and/or public official of or for the City of Lebanon, Tennessee, or a member of such employee's or public official's immediate family, shall receive, or has received, any monetary or other consideration, directly or indirectly, either past or in the future, relative to the subject transaction or business for which application is being made.

X YES  
\_\_\_\_ NO

If "NO," please disclose in full detail any monetary or other consideration any employee and/or public official of or for the City of Lebanon, Tennessee, or a member of such employee's or public official's immediate family, shall receive, or has received, either directly or indirectly, including the source for such consideration

\_\_\_\_\_  
\_\_\_\_\_

Wayne K. Miller  
Applicant (Printed)

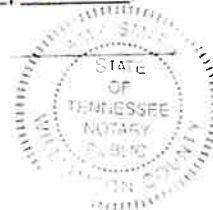
Wayne K. Miller  
Applicant (Signed)

**STATE OF TENNESSEE COUNTY OF WILSON**

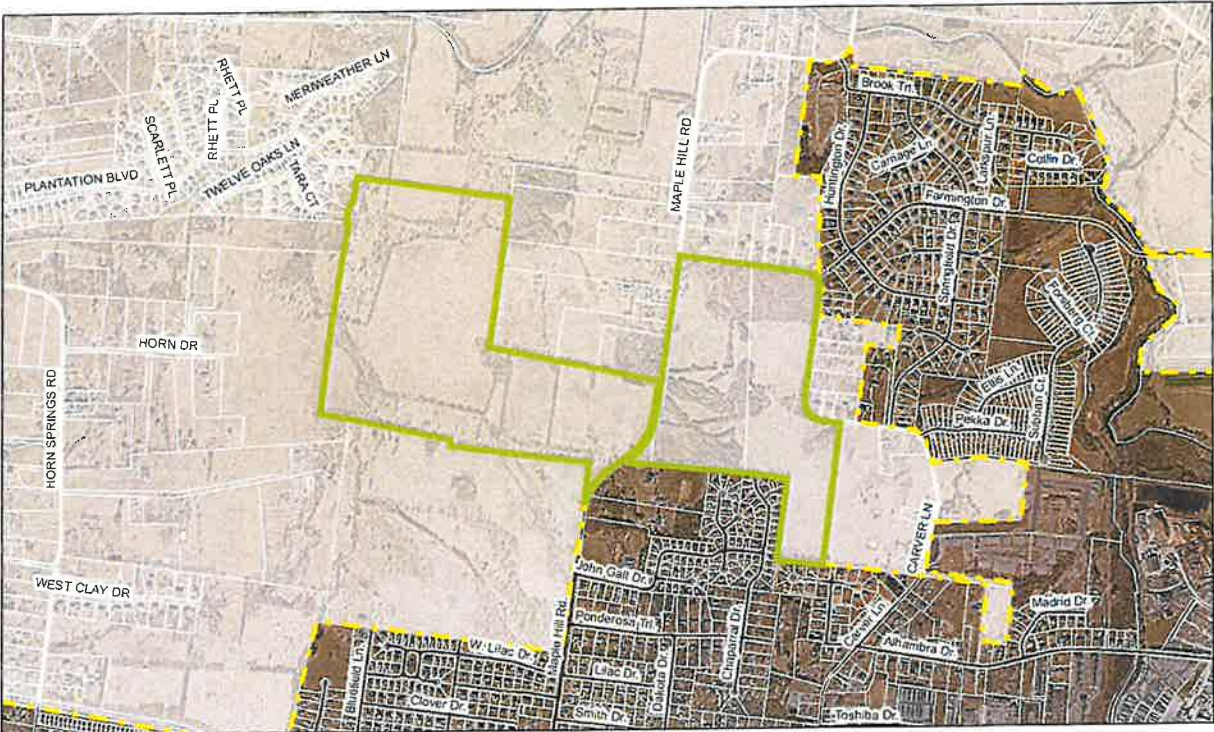
Personally appeared before me, the undersigned, a Notary Public in and for said county and state, Wayne Miller, known to me to be the person who signed the foregoing instrument, and who acknowledged that he/she executed the within instrument for the purposes therein contained.

Witness my hand, at office this the 23<sup>rd</sup> day of September, 2025.

[Signature]  
Notary Public




My Commission Expires: 7/25/29



- Legend**
- Lebanon City Limit
  - City Street
  - County
  - Future/Proposed Street
  - Inter/State
  - Private Street
  - Ramp
  - State Route

**AERIAL**  
Sorelle Hybrid Specific Plan  
Annexation and Hybrid SP Zoning  
Unaddressed Maple Hill Road & Carver Lane

0    1,250    2,500    5,000 Feet





A tract or parcel of land, lying and being situate in the 3rd Civil District of Wilson County, Tennessee, and more particularly described as follows:

Beginning at an iron pin in the southerly right-of-way of Carver Lane (approximately 25 feet off of the centerline) at the northwest corner of Tract No. I, thence with the westerly line of Tract No. I South 5 degrees 20 minutes West 2,252.3 feet to an iron pin in a fence; thence with a fence North 85 degrees 42 minutes West 968.1 feet to an iron pin in an old road; thence with the center of said old road North 5 degrees 56 minutes East 435.1 feet to an iron pin in the easterly right-of-way of Maple Hill Road, (approximately 25 feet off of the centerline); thence with the said right-of-way of Maple Hill Road as follows: North 12 degrees 47 minutes East 60.0 feet to an iron pin; North 11 degrees 51 minutes East 60.0 feet to an iron pin; North 6 degrees 44 minutes East 1,344.0 feet to an iron pin, North 6 degrees 25 minutes East 383.4 feet to an iron pin at the intersection of the southerly right-of-way of Carver Lane; thence with the said right-of-way of Carver Lane (approximately 25 feet off of the centerline) South 83 degrees 56 minutes East 908.1 feet to the beginning and containing 48.697 acres, more or less, according to the survey of Clay D. Couch, Jr., Surveyor, made on March 5, 1974.

BEGINNING at an iron pin in the southerly right of way of Carver Lane (approximately 25 feet off the centerline) at the northeast corner of Tract No. 2; thence with said right-of-way of Carver Lane as follows; North 83 degrees 56 minutes East 364.3 feet to an iron pin; thence South 81 degrees 20 minutes East 128.2 feet to an iron pin; thence South 73 degrees 52 minutes East 50.0 feet to an iron pin; then South 55 degrees 05 minutes East 50.0 feet to an iron pin; then South 20 degrees 28 minutes East 50 feet to an iron pin; then South 4 degrees 15 minutes East 50.0 feet to an iron pin; then South 4 degrees 05 minutes West 100

feet to an iron pin then; thence South 5 degrees 22 minutes West 1116.5 feet to an iron pin then South 3 degrees 08 minutes East 60.0 feet to an iron pin; thence South 14 degrees 25 minutes East 60.0 feet to an iron pin at a corner of a triangle of property belonging to Agee; thence with the center of an old road around Agee's property South 2 degrees 04 minutes West 85.0 feet to an iron pin; thence South 83 degrees 16 minutes East 87.7 feet to an iron pin in the southerly right-of-way of Carver Lane; thence with said right-of-way of Carver Lane as follows: South 66 degrees 51 minutes East 60.0 feet to an iron pin; thence South 74 degrees 43 minutes East 60.0 feet to an iron pin; thence South 83 degrees 31 minutes East 185.1 feet to an iron pin in line with a fence; thence with a fence South 5 degrees 00 minutes West 1542.9 feet to an iron pin in a fence corner; thence North 83 degrees 40 minutes West 518.2 feet to an iron pin in a fence corner; thence North 6 degrees 09 minutes East 869.7 feet to an iron pin in a fence corner; thence North 84 degrees 01 minutes West 455.7 feet to an iron pin in a fence; thence North 85 degrees 42 minutes West 87.2 feet to an iron pin in a fence at the southeast corner of Tract No. 2; thence with the easterly line of Tract No. 2 North 5 degrees 20 minutes East 2252.3 feet to the beginning, containing 48.697 acres, more or less, according to the survey of Clay D. Couch, Jr., Surveyor, made March 5, 1974.

BEING Tract No. 1 of said land inherited by Frank Tatum and Ernest O. Tatum, from their mother, Mrs. Hettie Inez Tatum, and being the east half of said land that was conveyed by Ridley Kenton and wife, Lucille Kenton, to John W. Tatum and wife, Hettie Inez Tatum, by deed dated March 4, 1955, recorded in Deed Book 141, page 627, in the Register's Office for Wilson County, Tennessee.

#### **Plan for Serving the Annexation Area**

1. Police Protection  
Patrolling, radio response to calls, and other routine police services using the City's personnel and equipment will be provided on the effective date of the annexation.
2. Fire Protection  
Fire protection by the present personnel and the equipment of the fire fighting force, within the limitations of available water and distances from fire stations, will be provided on the effective

date of annexation.

3. Domestic Water, Sanitary Sewer Service, and Fire Hydrants

- a. Domestic Water – These properties are served by City of Lebanon Water by a 6 inch PVC water main along Maple Hill Road. Any required extensions will be at the cost of the owner/developer.
- b. Sanitary Sewer – Sewer will need to be extended from the subdivision to the south east approximately 1,602 feet to serve all properties. Any necessary collection system upgrades and/or extension(s) of sewer infrastructure to service the proposed development are the responsibility of the owner/developer.
- c. Fire Hydrants – If any new hydrants are needed the cost would be between **\$2500 and \$3000** each.

4. Electric Service and Street Lighting

Middle Tennessee Electric serves this area.

5. Public Works

- a. Stormwater – Stormwater services will be available to this property in the same manner they are available to the rest of the City.
- b. Sanitation – City sanitation services will be available at the time of annexation.
- c. Street and Right-of-Way Repair and Maintenance – This annexation will include part of the Maple Hill Road right-of-way as described in the legal description and is not located on a State Highway.
- d. The City and/or the County may require road improvements by the owner as this property develops.

6. Gas

These properties are served by City of Lebanon Gas by a 4 inch PE gas main along Maple Hill Road and a 2 inch PE gas main along Carver Lane. Any extension would need to be coordinated with the City of Lebanon Gas Department.

7. Schools

Lebanon Special Schools and Wilson County Schools are aware of this request and will accommodate any additional students from the annexation.

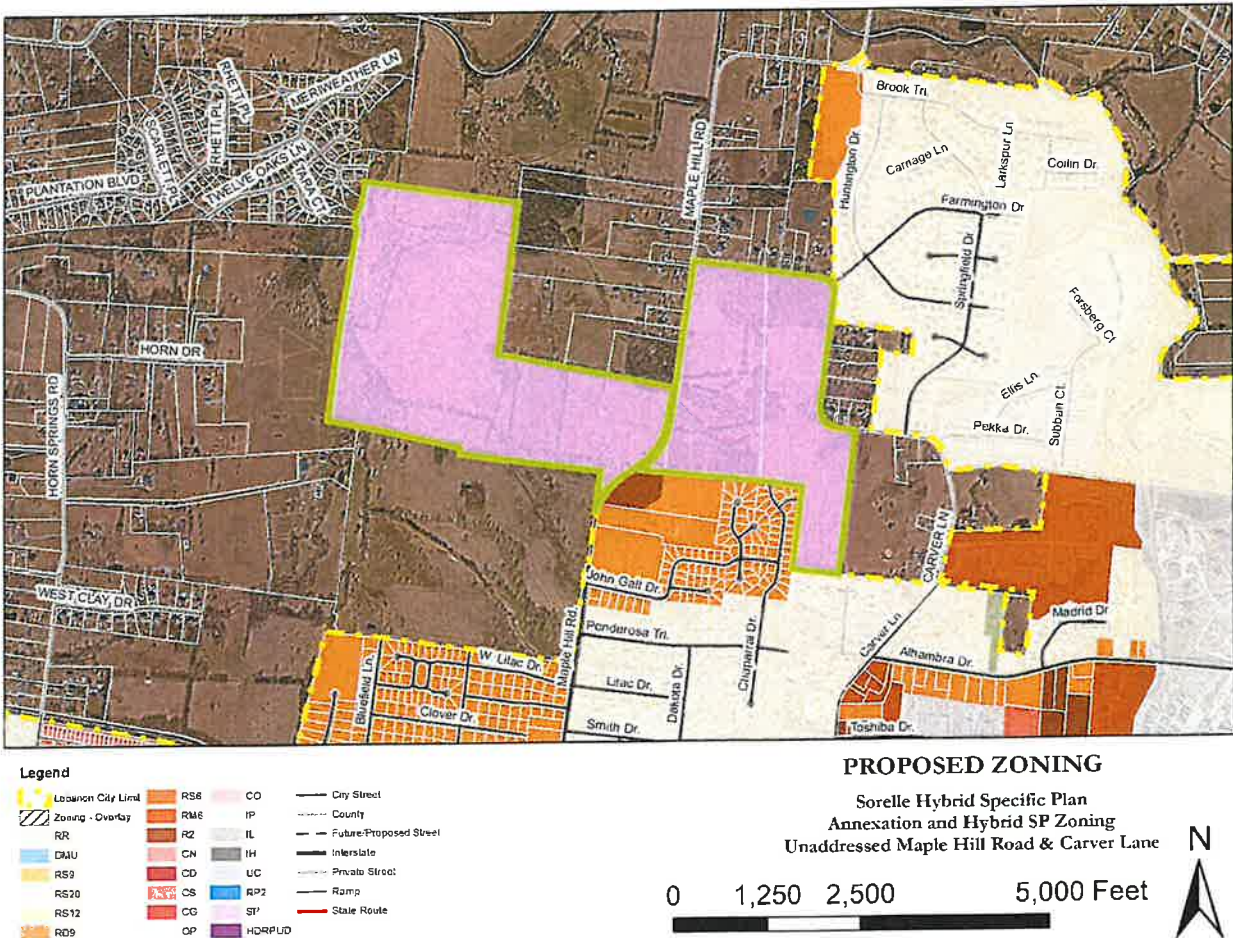
8. Inspection and Codes Enforcement

All inspection and code enforcement programs existing within the City will be extended to the annexation areas on the effective date of the annexation.

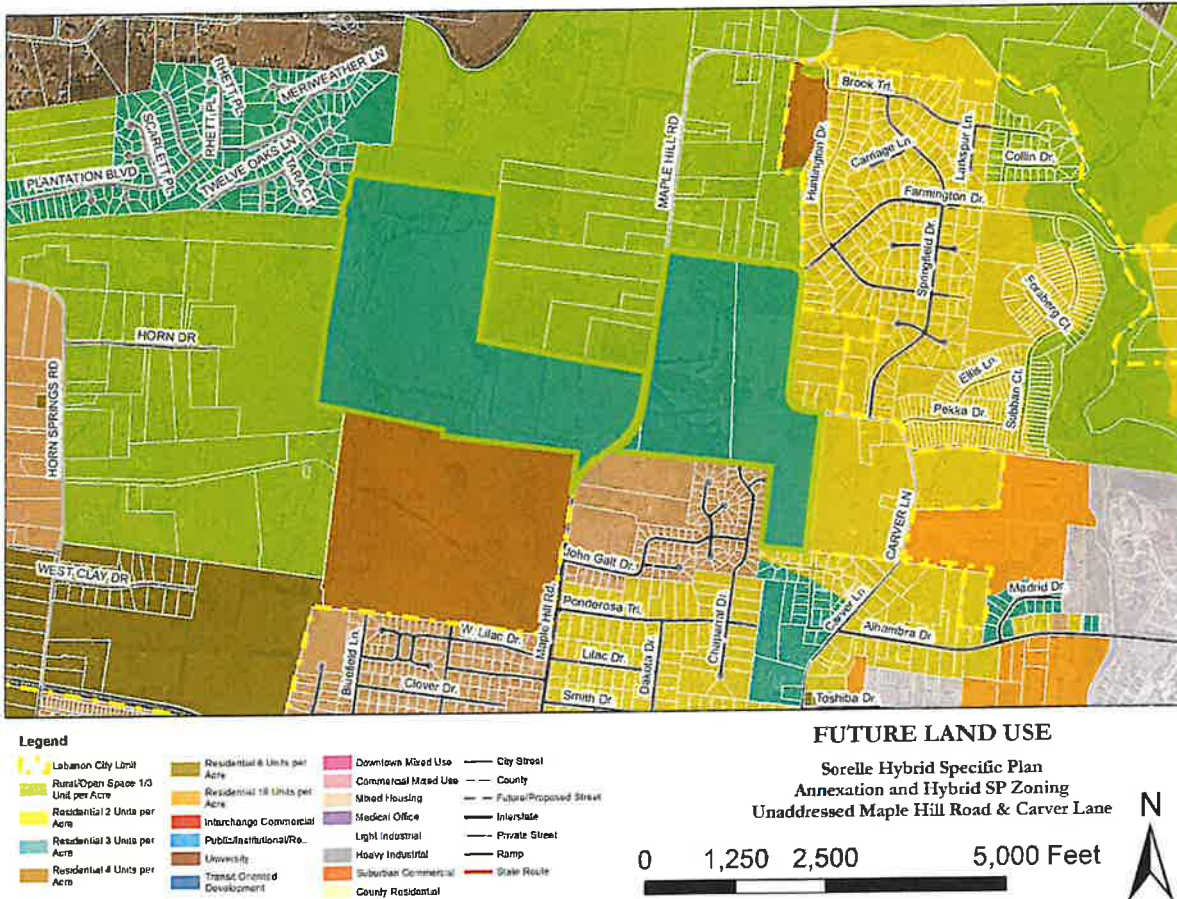
9. Planning and Zoning

The zoning jurisdiction of the City will extend to the annexation areas upon the effective date of the annexation and all municipal planning activities will encompass the needs of the annexed areas.

- a. The requested annexation is Sorelle SP with a base zoning of RS12 & RS20 for a total of 311 residential units, and associated community amenities



- b. The Future Land Use Plan classification for this area is FLH3 – Residential 3 Units per Acre which supports the requested zoning.



10. Animal Shelter

The City operates a full-time animal control program including an animal shelter. The animal shelter is located on Park Drive. Services include pick-up of stray and/or dangerous animals. These services will be available to the annexation areas on the effective date of the annexation.

11. Voting Rights and City Elections

- a. If an eligible voter’s permanent place of residence is located in an annexed area, that voter is automatically eligible to vote in City elections.
- b. If an eligible voter is in the category of a property rights voter, then that voter must register at the Election Commission Office prior to voting in a City election.

**Revenue**

The total appraised property value for the parcel in the annexation area is about \$444,800. This equals an assessed value of about \$111,300 for an agricultural property. The property tax generation from this property as a residential property in the City would be about \$3,814.8 per year. The estimated cost to serve this area is \$112,140.

**Section 2.** This resolution shall take effect after its adoption and upon the official annexation of this area.

Notice of the Public Hearing was published in the Wilson Post on December 10, 2025.

The Public Hearing was held at 5:55 PM in the City Council Chambers January 6, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to Form:

Passed first reading: January 6, 2026.

\_\_\_\_\_  
City Attorney

Passed second reading: \_\_\_\_\_.

MAIN STREET MEDIA OF TN  
PO Box 5009  
Lebanon, TN 37088 US  
6154446008  
accounting@mainstreetmediatn.com

MAIN STREET MEDIA  
OF TENNESSEE

BILL TO  
City of Lebanon (1)  
Planning Office/TONYA JONES  
200 Castle Hts Ave. N.  
Lebanon, TN 37087

INVOICE # 492025460  
DATE 12/10/2025  
DUE DATE 01/01/2026  
TERMS Due on receipt

SALES REP  
LP

Legal Advertising:Legal Advertising  
Legal Advertising Res #26-2810  
Carver Lane wp 12-10

1

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Main Street Media of Tennessee is the publisher of the Chronicle of Mt. Juliet, Cheatham County Exchange, Dickson Post, Gallatin News, Hendersonville Standard, Hickman County Times, Houston County Herald, Lawrence County Advocate, Main Street Clarksville, Main Street Maury, Main Street Nashville, Main Street Preps, Murfreesboro Post, Pulaski Citizen, Portland Sun, Robertson County Connection, Titan Insider and Wilson Post.

BALANCE DUE

**\$86.63**

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Lebanon, TN 37088, Thank You!

Please make your check payable to Main Street Media--NEW REMIT ADDRESS is PO BOX 5009,  
LEBANON, TN 37088

# Cost of Publication

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## PUBLIC NOTICE

In reference to Resolution No. 26-2810, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed plan of services approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) near Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahle at 444-3647 x2304. The public is welcome to attend.

Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

STATE OF TENNESSEE

County of Wilson

Personally appeared before me,

Shelley K. Satterfield

A Notary Public of Tennessee,  
Dave Gould, who being first duly  
sworn, made oath that he is President  
of *The Wilson Post*, a newspaper, and  
that the hereto attached publication  
appeared in the same on the

12-10-2025

Dave Gould

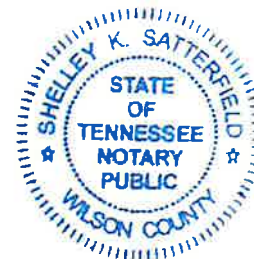
Dave Gould, President

Subscribed and sworn to before me  
on the date of:

12-10-2025

Shelley K. Satterfield

Notary Public, Shelley K. Satterfield





**RESOLUTION NO. 26-2811**

**A RESOLUTION ANNEXING PROPERTY AT UNADDRESSED PROPERTIES ON MAPLE HILL ROAD AND CARVER LANE (TAX MAP 46 PARCELS 18, 18.01 & 21.01) TO BE ADDED TO WARD 1**

**WHEREAS**, the owners have requested the annexation of these properties; and

**WHEREAS**, the owners will be responsible for extending any utilities at time of redevelopment; and

**WHEREAS**, the Lebanon Municipal Regional Planning Commission recommended approval of this Annexation to the Mayor and City Council by a vote of 7-1 at the November 17, 2025 Meeting.

**NOW, THEREFORE, BE IT RESOLVED by the City of Lebanon, Tennessee, as follows:**

**Section 1.** That Tennessee Code Annotated 6-51-102 authorizes the City of Lebanon to annex land at the request of the landowners when it appears that the prosperity of the municipality and the territory will be materially retarded and the welfare of the inhabitants and property endangered if the property is not annexed. The City of Lebanon hereby determined that the prosperity of the municipality and territory described herein will be materially retarded and the welfare of the inhabitants and property endangered if the property is not annexed.

**Section 2.** That pursuant to Section 6-51-101 through 6-51-114, Tennessee Code Annotated, the property (as shown on the attached map) is hereby annexed into the City of Lebanon, Wilson County, Tennessee, and incorporated within the corporate boundaries thereof.

**Section 3.** That this resolution takes effect 30 days from and after its final passage, the public welfare requiring it.

Notice of the Public Hearing was published in the Wilson Post on December 10, 2025.

The Public Hearing was held at 5:55 PM in the City Council Chambers on January 6, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

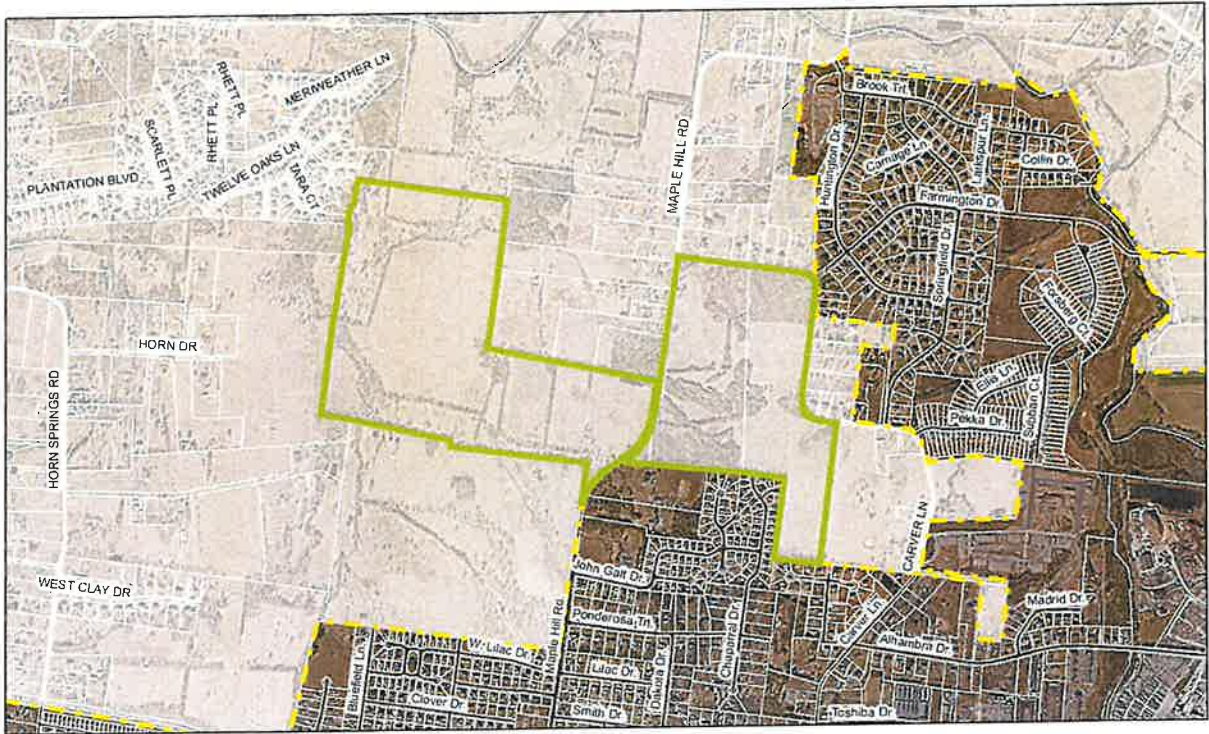
\_\_\_\_\_  
Mayor

Approved as to Form:

Passed first reading: January 6, 2026.

\_\_\_\_\_  
City Attorney

Passed second reading: \_\_\_\_\_.



- Legend**
- Lebanon City Limit
  - City Street
  - County
  - Future/Proposed Street
  - Interstate
  - Private Street
  - Ramp
  - State Route

**AERIAL**

Sorelle Hybrid Specific Plan  
Annexation and Hybrid SP Zoning  
Unaddressed Maple Hill Road & Carver Lane

0 1,250 2,500 5,000 Feet

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SALES REP  
LP

Legal Advertising:Legal Advertising  
Legal Advertising Res #26-2811  
Annex 246 acres wp 12-10

1

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# Cost of Publication

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12-10-2025

Dave Gould

Dave Gould, President

Subscribed and sworn to before me  
on the date of:

12-10-2025

Shelley K. Satterfield

Notary Public, Shelley K. Satterfield



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3. Call 615-452-4940
4. Stop by our office.

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**NOTICE TO:** Respondents, Mother and Father of the State of Tennessee, Department of Children's Services, has filed a PETITION in regards to the minor child, KALEE SUMNER, DOB 7/30/2025; it further appears that arbitrary process is being used to remove the child from your care. You are hereby ORDERED to appear in the Juvenile Court of Sumner County, Tennessee located at 155 East Main Street, Gallatin, TN 37066, Tennessee, on the 6th day of January, 2026, at 9:00 a.m. to personally answer the PETITION. Failing to appear for the hearing on this date and time, without good cause, pursuant to the Tennessee Rules of Civil Procedure, will result in the loss of your right to contest the petition. You may view and obtain a copy of the Petition and any other subsequently filed legal documents at the Sumner County Juvenile Court Clerk's Office. Entered the 4th day of November, 2025 David Howard, Juvenile Judge.

Prepared by State of Tennessee Department of Children's Services Lisa W. McHugh, BPR 622557 Assistant General Counsel 383 Maple Street, Suite 201 Gallatin, TN 37066

11/26/2025, 12/2/2025, 12/10/2025, 12/17/2025

IN THE CHANCERY COURT OF SHELBY COUNTY, TENNESSEE FOR THE THIRTIETH JUDICIAL DISTRICT AT MEMPHIS LACEY ANNETTE MEAD PLAINTIFF vs. DELINQUENT TAXPAYERS DEFENDANTS

ORDER GRANTING PLAINTIFFS MOTION FOR SERVICE BY PUBLICATION THIS CAUSE came before the Court on November 14, 2025, upon Plaintiff's Motion for Service by Publication, the Affidavit of Diligent Search, the statements of creditors for Plaintiff, and the record as a whole. Finding that good cause exists for service by publication, Plaintiff's Motion is GRANTED. Service upon the Defendant, Shawn Allen Mead, shall be completed by constructive service and the Clerk of this Court is directed to serve the Defendant, Shawn Allen

**WANTED: CPA EA or experienced tax preparer for upcoming tax season. Prefer Drake Software experience, all duties of tax office. Excellent pay. Update school paid by company. Call 615-406-0898.**

Mead, by publication in The Wilson Post, located in Wilson County, Tennessee, and online as well. IT IS SO ORDERED, ADJUDGED, AND DECREED. Melissa Taylor Jefferson CHANCELLOR MELANIE TAYLOR JEFFERSON DATE: 11-14-25 Submitted for entry by: Rachel Meador Austin Rainey (831421) Rachel Meadows (828631) 8001 CedarView Parkway, Suite 103 Memphis, Tennessee 38118 Phone: (901) 372-6003 Fax: (901) 382-6568 jerryw@wilsoncounty.com emeadow@wilsoncounty.com Wilson Post 11/26/2025 12/02/2025 12/10/2025 12/17/2025

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF WATERTOWN, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS DEFENDANTS

ORDER OF PUBLICATION I, appearing from the Complainant and Affidavit of Robert Rochelle, Attorney for the Plaintiffs, that grounds exist for obtaining service of process by publication upon the Defendants Paul E. Vitellus and wife, Kimberly G. Vitellus, their heirs, devisees, successors and assigns and all unknown, unborn and unborn persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Mt. Juliet, Tennessee and the City of Watertown, Tennessee. The City of Mt. Juliet, Tennessee and the City of Watertown, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.tennessonews.com for the same period, ENTERED the 20th day of November, 2025.

CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Defendant Tax Attorney Wilson Post 12/02/2025 12/10/2025 12/17/2025 12/24/2025

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**PUBLIC NOTICE OF REGULAR MEETINGS OF THE WILSON COUNTY PLANNING COMMISSION**

Notice is hereby given that the Wilson County Planning Commission will meet, until further notice, in regular public session on the dates listed below; meeting time will be 10 a.m.; the meetings will be held in the County Commission room of the Wilson County Courthouse, 228 East Main Street, for the purpose of considering and transacting all business that may come before said Commission, meeting may be postponed if inclement weather prevails and the Wilson County Courthouse is closed. Whenever reasonably possible, a copy of the agenda for any such meeting will be available for inspection at the Wilson County Development Services Office/Planning Division, located in the Courthouse Basement, Rm. 5, at least 24 hours in advance thereof. Items may also be viewed on the following website: <https://www.wilsoncountynytg.gov/>

Friday, January 16, 2026	Friday, July 17, 2026
Friday, February 20, 2026	Friday, August 21, 2026
Friday, March 20, 2026	Friday, September 18, 2026
Friday, April 17, 2026	Friday, October 16, 2026
Friday, May 22, 2026	Friday, November 20, 2026
Wednesday, June 17, 2026	Friday, December 18, 2026

**PUBLIC NOTICE**

In reference to Resolution No. 26-2811, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed annexation approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to be added to Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlke at 444-3647 x2304. The public is welcome to attend.

Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

**PUBLIC NOTICE**

In reference to Resolution No. 26-2810, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed plan of services approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) near Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlke at 444-3647 x2304. The public is welcome to attend.

Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

**NOTICE OF PUBLIC HEARING**

A public hearing will be held before the Wilson County Planning Commission on Friday, December 19, 2025 at 10:00 a.m. in the County Commission room of the Wilson County Courthouse, 228 East Main Street Lebanon, Tennessee. Items for consideration: Application has been made by Josh White, ASIM Land Surveyors, representing property owners Matthew & Candace Mooney, requesting to rezone property from (A-1) Agricultural to (R-1) Rural Residential. The property contains approximately 7.86 acres and is located at 4500 Bendlers Ferry Rd and is further referenced as Parcel 50.00 on Wilson County Tax Map 28. Application has been made by Land Solutions Company, LLC, representing property owner Derrell Cagle, requesting a Land Use Plan Amendment from a low-density residential area to high-density/high-intensity commercial area, the applicant also seeks to rezone the same properties from (R-1) Rural Residential to (C-3) Highway Commercial. The property contains approximately 2.83 acres and is located at McCrary Rd and is further referenced as Parcel 36.14 on Wilson County Tax Map 137. A RESOLUTION ADOPTED FOR THE PURPOSE OF AMENDING THE WILSON COUNTY, TENNESSEE ZONING RESOLUTION REGULATING ACCESSORY DETACHED DWELLING UNIT AND HOW IT IS DEFINED. A RESOLUTION ADOPTED FOR THE PURPOSE OF AMENDING THE WILSON COUNTY, TENNESSEE ZONING RESOLUTION REGULATING USES PERMISSIBLE ON APZAL IN THE C-2 GENERAL COMMERCIAL AND DEFINITION OF DISTRICTS. A RESOLUTION ADOPTED FOR THE PURPOSE OF AMENDING THE WILSON COUNTY, TENNESSEE ZONING RESOLUTION REGULATING MAXIMUM HEIGHT OF FRONTCOURT AND ACCESSORY STRUCTURES. Several divisions of property and site plans will also be heard at this time. Meeting may be postponed if inclement weather prevails and the Wilson County Courthouse is closed, you may view the full agenda online at [www.wilsoncountynytg.gov](http://www.wilsoncountynytg.gov).

**PUBLIC NOTICE**

In reference to Ordinance No. 26-7340, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 5, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed zoning approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to Sorelle Hybrid Specific Plan in Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlke at 444-3647 x2304. The public is welcome to attend.

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Continued on next page

**ORDINANCE 26-7340**

**AN ORDINANCE TO AMEND THE OFFICIAL ZONING ATLAS OF THE CITY OF LEBANON, TENNESSEE, BY REQUESTING ZONING APPROVAL OF ABOUT 246 ACRES AT UNADDRESSED PROPERTIES ON MAPLE HILL ROAD AND CARVER LANE (TAX MAP 46 PARCELS 18, 18.01 & 21.01) TO SORELLE HYBRID SPECIFIC PLAN TO BE ADDED TO WARD 1**

**WHEREAS**, the City of Lebanon desires to amend the official zoning atlas of the City; and

**WHEREAS**, the property owner would like to use the property for residential uses; and

**WHEREAS**, the requested Future Land Use designation for this property is FLH3 – Residential 3 Units Per Acre in the Future Land Use Plan; and

**WHEREAS**, the owner is asking for Sorelle Hybrid Specific Plan zoning; and

**WHEREAS**, the City of Lebanon believes that such amendment will promote, protect, and facilitate the public health, safety, and welfare of the community through coordinated and practical land use and land development for the betterment of Lebanon’s population; and

**WHEREAS**, the Lebanon Municipal Regional Planning Commission recommended approval of this Zoning to the Mayor and City Council by a vote of 7-1 at the November 17, 2025 Meeting.

**NOW, THEREFORE, BE IT ORDAINED by the City of Lebanon, Tennessee, as follows:**

**Section 1.** That the property described herein be, and the same is hereby zoned Sorelle Hybrid Specific Plan:

Approximately 246 acres at unaddressed properties on Maple Hill Road and Carver Lane as shown on the attached map.

For reference, see Deed Book 1250 Page 1557, Deed Book 2297 Page 1486 and Deed Book 2285 Page 2175 in the Register’s Office of Wilson County, Tennessee, Tax Map 46 Parcels 21.01,18 &18.01, for Wilson County, Tennessee.

**Section 2.** The regulations for the Sorelle Hybrid Specific Plan are found in Exhibit A and Exhibit B

**Section 3.** That all Ordinances in conflict herewith are repealed to the extent of said conflict.

**Section 4.** This resolution shall take effect after its adoption and upon the official annexation of this area.

Notice of the Public Hearing was published in the Wilson Post on December 10, 2025.

The Public Hearing was held at 5:55 PM in the City Council Chambers on January 6, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

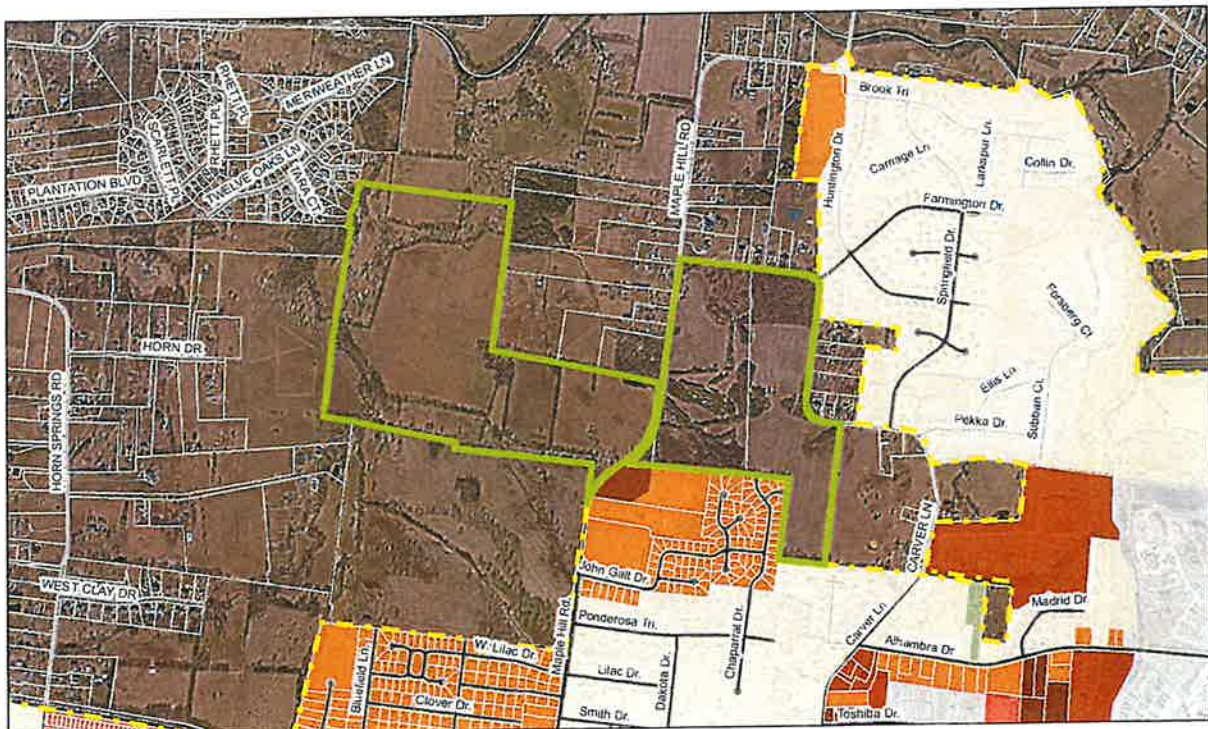
\_\_\_\_\_  
Mayor

Approved as to Form:

Passed first reading: January 6, 2026.

\_\_\_\_\_  
City Attorney

Passed second reading: \_\_\_\_\_



**Legend**

Lebanon City Limit	R56	CO	City Street
Zoning - Overlay	RM6	IP	County
RR	R2	IL	Future/Proposed Street
DMU	CN	IH1	Interstate
RS9	CD	UIC	Private Street
RS20	CS	RP2	Ramp
RS12	CG	SP	State Route
RD9	OP	HDROPUD	

**ZONING**

Sorelle Hybrid Specific Plan  
Annexation and Hybrid SF Zoning  
Unaddressed Maple Hill Road & Carver Lane

0 1,250 2,500 5,000 Feet



EXHIBIT A



Specific Plan

**SORELLE**  
**SP-HYBRID-SORELLE**

DATE: SEPTEMBER 23<sup>RD</sup>, 2025

REVISED: NOVEMBER 13<sup>TH</sup>, 2025

SITE ADDRESSES:	MAPLE HILL ROAD, LEBANON, TENNESSEE CARVER LANE, LEBANON, TENNESSEE
PARCEL ID (S):	095 046 02101 000 095 046 01801 000 095 046 01800 000
WARD #:	1
<u>TOTAL SITE ACREAGE:</u>	<u>± 246 AC</u>
SUB DISTRICT ARDEN:	± 150 AC
SUB DISTRICT HALSTON:	± 96 AC
EXISTING ZONING:	COUNTY RURAL R1
PROPOSED ZONING:	SP (SPECIFIC PLAN DISTRICT)
<u>BASELINE ZONING:</u>	<u>SEE SUBDISTRICTS BELOW</u>
SUB DISTRICT ARDEN:	RS12 (MEDIUM DENSITY RESIDENTIAL DISTRICT)
SUB DISTRICT HALSTON:	RS20 (LOW DENSITY SINGLE-FAMILY DISTRICT)
FUTURE LAND USE:	RESIDENTIAL 3 UNITS PER AC
<u>PROPOSED LOT COUNT:(units)</u>	<u>311</u>
SUB DISTRICT ARDEN:	210
SUB DISTRICT HALSTON:	101
<u>PROPOSED UNITS/AC:</u>	<u>1.26 UNITS PER AC</u>
SUB DISTRICT ARDEN:	1.4 UNIT PER AC
SUB DISTRICT HALSTON:	1.05 UNITS PER AC
OPEN SPACE REQUIRED:	15% (25% TO BE USED AS PARKS, GREENS, OR SQUARES)
OPEN SPACE PROVIDED:	15% (25% TO BE USED AS PARKS, GREENS, OR SQUARES)
LOCAL STREET DESIGN SPEED:	25 MPH WITH ASSOCIATED GEOMETRY AT THE DISCRETION OF THE CITY ENGINEERING DEPARTMENT.







### PROJECT NARRATIVE:

SUMMIT DEVELOPMENT REQUESTS ANNEXATION AND ASSIGNMENT OF THE SPECIFIC PLAN (SP-SORELLE) TO MAP 46, PARCELS 02101, 01800, AND 01801. THE SUBJECT PROPERTY IS ± 246 AC AND IS CURRENTLY ZONED R-1 IN WILSON COUNTY. THE FARM IS CURRENTLY BEING LEASED FOR A MIXTURE OF AGRICULTURAL USES, INCLUDING CATTLE AND CROPPING.

SORELLE SEEKS TO BE THE CATALYST FOR FUTURE GROWTH AND DEVELOPMENT IN LEBANON. THIS SP HONORS THE LAY OF THE LAND BY PRESERVING NATURAL FEATURES, MINIMIZING GRADING ACTIVITIES, PROMOTING WALKABILITY THROUGH CONNECTED GREENWAY TRAILS, AND REDUCING THE DENSITY TO ROUGHLY 1.26 UNITS PER AC VERSUS THE 3 UNITS PER AC ALLOWED IN THE FUTURE LAND USE PLAN. AN OVERALL NET LOSS OF 427 RESIDENTIAL HOMES. THIS REDUCTION HELPS TO PROVIDE A DESIRABLE MIX OF LOT SIZES (AN ELEVATED ONE-OF-A-KIND NEIGHBORHOOD), WITH THE MEDIAN LOT AVERAGE BEING 18,011SF. FURTHERMORE, SORELLE WAS ENVISIONED AS A SAFE HAVEN FOR LOCAL BUILDERS, BUSINESSES, AND TRADE PARTNERS, OFFERING A PATH FORWARD WITHIN A MARKET LARGELY SHAPED BY NATIONAL, PUBLICLY TRADED BUILDERS. THIS SP WILL BECOME THE STANDARD FOR LOT DEVELOPMENT FOR YEARS TO COME WHILE PROVIDING A LASTING LEGACY FOR THE CITY OF LEBANON.

WITH FAMILIES AND INDIVIDUALS FOCUSED ON QUALITY OF LIVING MORE THAN EVER, THIS SP WILL DEDICATE A PUBLIC GREENWAY FOR ITS HOMEOWNERS AND SURROUNDING COMMUNITIES TO ENJOY. THE GREENWAY TRAILS WILL TOTAL +/-13,040 LF. FOR EASE OF ACCESS, A GREENWAY TRAIL HEAD PARKING LOT WILL BE PROVIDED WITHIN THE ARDEN DISTRICT.

TO HELP ALLEVIATE CURRENT AND FUTURE TRAFFIC CONCERNS, THIS DEVELOPMENT WILL CONSTRUCT A NEW EXTENSION OF CARVER LANE THAT WILL PROVIDE A SAFER CONNECTION TO MAPLE HILL ROAD. THE EXTENSION WILL BE A BOULEVARD SECTION THAT DOUBLES AS A TRAFFIC CALMING MEASURE FOR EXISTING SPEED CONCERNS ON CARVER LANE. ALONG WITH THIS, THE SP WILL CONTRIBUTE TO THE CONSTRUCTION OF A ROUND-ABOUT AT THE NEW, ABOVE-MENTIONED INTERSECTION, TO ASSIST WITH CONGESTION AND IMPROVE SIGHT DISTANCE. ADDITIONALLY, THE DEVELOPER WILL CONTINUE TO WORK WITH STAFF REGARDING THE REDESIGN OF THE EXISTING CARVER LANE CURVE (AT FARMINGTON WOODS) TO MEET CURRENT ENGINEERING STANDARDS OR AN ALTERNATE SOLUTION THAT WILL ADDRESS TRAFFIC SAFETY AND OPERATIONS.

IN ADDITION TO THE IMPROVEMENTS LISTED ABOVE, THIS DEVELOPMENT WILL CONSTRUCT A NEW LIFT STATION THAT WILL CREATE A HEALTHIER, MORE VIBRANT SEWER INFRASTRUCTURE SYSTEM FOR THE CITY OF LEBANON.



## SUB DISTRICT-ARDEN

### USES PERMITTED:

- DWELLING, ONE-FAMILY DETACHED

### PROHIBITED USES:

- ANY USE NOT SPECIFICALLY ALLOWED

### USE AND STRUCTURE PROVISIONS:

- PERMITTED ACCESSORY USES:

PERMITTED ACCESSORY USES IN ADDITION TO THE PRINCIPAL PERMITTED USES. EACH ACTIVITY TYPE MAY INCLUDE ACCESSORY ACTIVITIES CUSTOMARILY ASSOCIATED WITH, AND APPROPRIATE INCIDENTAL, AND SUBORDINATE TO THE PRINCIPAL ACTIVITY LOCATED ON THE SAME ZONE LOT. THESE INCLUDE:

PRIVATE GARAGES AND PARKING AREAS, RECREATION FACILITIES EXCLUSIVELY FOR THE USE OF THE RESIDENTS, HOME OCCUPATIONS AS DEFINED AND SUBJECT TO FURTHER REGULATIONS CONTAINED IN CHAPTER 8, SECTION 14.801(N).

SIGNS IN COMPLIANCE WITH THE REGULATIONS SET FORTH IN THE LEBANON SIGN ORDINANCE.

### BULK, YARD, AND DENSITY REGULATIONS:

- AVERAGE LOT AREA:
  - 16,724 SF
    - (59) LOTS: 10,000-14,999 SF
    - (122) LOTS: 15,000- 19,999 SF
    - (29) LOTS: 20,000- PLUS SF

MEDIUM LOT SIZE: 15,866.5 SF

- MINIMUM LOT WIDTH AT BUILDING LINE:
  - 65'



- **MINIMUM YARD DEPTHS/ BUILDING SETBACKS**

- FRONT: 35' (WITH 10' RECESSED GARAGES) \*
- REAR: 30'
- SIDE (1 TO 2 STORIES): 7.5' \*\*
- SIDE (3 STORIES): 12'

SIDE ON CORNER LOTS TO BE 20'

\* GARAGE ENTRANCE SHALL BE RECESSED BY A MINIMUM OF 10' FROM THE FRONT OF THE HOME INCLUDING A PORCH OR STOOP IF APPLICABLE.

\*\* PERMITTED ALTERNATE SIDE SETBACK SHALL BE A 10' & 5' SERIES

- **MAXIMUM LOT COVERAGE OF STRUCTURES:**

- 41% OF TOTAL LOT

- **MAXIMUM HEIGHT:**

- PRINCIPAL BUILDING HEIGHT: 3 STORIES
- ACCESSORY STRUCTURES HEIGHT: 2 STORIES (1,000SF)

ACCESSORY STRUCTURES SHALL BE SUBORDINATE IN SIZE AND HEIGHT TO THE PRIMARY STRUCTURE, CONFORM WITH THE PRINCIPAL STRUCTURE, AND BE APPROVED THROUGH THE HOA.

**CIRCULATION AND MOBILITY:**

- **MINIMUM CONNECTIVITY COEFFICIENT (3.0)**

THE MINIMUM CONNECTIVITY COEFFICIENT CHART BELOW IS TO BE UTILIZED IN LIEU OF 14.807.D.1.C.II & III

Development Type (District)	Min Coefficient
Residential (RS20, RS12, RS9, RS6, RD9)	3.00
Residential/Mixed-use/Commercial (RM6, RMH, RXH, CXU, RPI, CMO, CS)	3.25
Residential/Mixed-use/Commercial (DXU, TOD)	3.50
Commercial (CMO, CS, CI)	3.00
Industrial (IL, IW, IV, IH)	2.75
Exempt Districts (RPO, UC, CF)	

- **EXTERNAL CONNECTIONS**

- ROAD CONNECTIONS:
  - SEVEN (7) TOTAL EXTERNAL CONNECTIONS TO BE PROVIDED. TWO (2) LOCATED ON MAPLE HILL ROAD AND FIVE (5) R.O.W STUBS FOR FUTURE CONNECTION, GENERALLY IN EACH CARDINAL DIRECTION.



- **DEAD-END/CUL-DE-SAC STREETS**
  - PERMANENT DEAD-END /CUL-DE-SAC STREETS SHALL NOT EXCEED 500 FEET IN LENGTH WITH THE EXCEPTION OF THE CUL-DE-SAC ALONG ROAD G (600 FEET) DUE TO AN ELECTRIC EASEMENT.
- **BICYCLE AND PEDESTRIAN CONNECTIVITY**
  - SHALL COMPLY WITH THE MINIMUM CITY STANDARDS IN PLACE AT THE TIME OF THIS SP APPROVAL. ANY MODIFICATIONS WILL BE AT THE DISCRETION OF PLANNING & ENGINEERING STAFF.
- **MAIL KIOSK**
  - NO RESIDENTIAL UNIT SHALL BE LOCATED MORE THAN .25 MILES FROM THE MAIL KIOSK (CLUSTER BOX) FACILITY THAT SERVES IT WITHOUT APPROVAL FROM THE USPS. THIS DISTANCE SHALL BE MEASURED FROM THE NEAREST POINT OF THE FRONT PROPERTY LINE FOR A SUBDIVIDED UNIT OR THE FRONT DOOR OF A UNIT FOR UNSUBDIVIDED UNITS TO THE NEAREST ENTRANCE OF THE FACILITY BY WAY OF PEDESTRIAN PATH COMPLIANT WITH THE AMERICAN WITH DISABILITY ACT (ADA), EXISTING OR PROPOSED.

#### **LANDSCAPE:**

- **STREET TREES:** ALONG ALL STREET FRONTAGES, STREET TREES SHALL BE PLANTED SO THAT A MINIMUM OF ONE (1) TREE IS REQUIRED FOR EVERY FORTY (40) FEET OF STREET FRONTAGE.
  - ALTERNATE PATTERNS ARE PERMITTED SO LONG AS THE MINIMUM NUMBER OF TREES IS EQUAL TO OR GREATER THAN THE MINIMUM FORMULA OF 1 TREE PER 40' OF STREET FRONTAGE.
- **SIDEWALKS AND PLANTING STRIP:**
  - MIN. PLANTING STRIP WIDTH: 6'
  - MIN. SIDEWALK WIDTH: 5'
  - STREET TREE LOCATION: PLANTING STRIP
- **PLANTING STRIP CHARACTER:**
  - GRASS
- **MINIMUM FOUNDATION PLANTING WIDTH:**
  - 4'
- **LANDSCAPE BUFFER:** A TYPE A BUFFER ALONG THE SOUTHERN PROPERTY LINE AND THE WESTERN PROPERTY LINE ALONG THE TRAIL.



- **FOUNDATION PLANTING CHARACTER:**

- TWO (2) MEDIUM EVERGREEN SHRUBS AS SPECIFIED IN SECTION 14.805.D.6 FOR EVERY FORTY (40) FEET OF BUILDING FAÇADE
- EIGHT (8) SMALL EVERGREEN OR DECIDUOUS SHRUBS (OR COMBINATION THEREOF) OF AT LEAST TWO DIFFERENT SPECIES AS SPECIFIED IN SECTION 14.805.D.6 FOR EVERY THIRTY (30) FEET OF BUILDING FAÇADE. THIS REQUIREMENT MAY ALSO BE MET WITH A COMBINATION OF SHRUBS AND ORNAMENTAL GRASSES.
- ONE (1) EVERGREEN SPECIMEN, ORNAMENTAL TREE, OR CLASS II SHADE TREE TO BE PLANTED WITHIN THE FRONT YARD OF EACH LOT
- ONE (1) CLASS II SHADE TREE TO BE PLANTED WITHIN THE REAR YARD OF EACH LOT

**OPEN SPACE:**

- SORELLE TO PROVIDE 15% USABLE OPEN SPACE (25% TO BE USED AS PARKS, GREENS, OR SQUARES)

**PHASING:**

- ANTICIPATED TO BE DEVELOPED IN 4 PHASES
- FINAL PHASING WILL BE BASED ON MARKET CONDITIONS.



**ARCHITECTURE:**

• SINGLE-FAMILY AND TWO-FAMILY RESIDENTIAL PERMITTED MATERIALS

BUILDING MATERIALS	LISTS		
	1	2	3
Brick	✓	✓	✓
Stone	✓	✓	✓
Cast Stone	✓	✓	✓
Stucco (authentic)	✓	✓	✓
Wood siding/shingles/trim	✓	✓	✓
Fiber Cement siding/shingles/trim	✓	✓	✓
Composite siding	✓	✓	✓
EIFS (upper stories only)	✓	✓	✓
Manufactured stone veneer siding	✓	✓	✓
Architectural Metal panel		✓	✓
Concrete (finished)		✓	✓
Fiber cement panel		✓	✓
Composite panel			✓
Concrete block (split faced/fluted)			✓
Concrete block			✓
Concrete (unfinished)			✓
Metal siding			✓
Any other legal building material			✓

• BUILDING MATERIALS

○ PRIMARY FAÇADE MATERIALS

- A MINIMUM OF 75% OF THE PRIMARY FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
- A MAXIMUM OF 25% OF THE PRIMARY FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 2 IN TABLE 14.808-1B.

○ SECONDARY FAÇADE MATERIALS

- A MINIMUM OF 60% OF THE SECONDARY FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
- A MAXIMUM OF 40% OF THE SECONDARY FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 2 IN TABLE 14.808-1B.

○ REAR FAÇADE MATERIALS

- A MINIMUM OF 60% OF THE REAR FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
- A MAXIMUM OF 40% OF THE REAR FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 2 IN TABLE 14.808-1B.



- ADDITIONAL STANDARDS:

- 10' GARAGE OFFSET (FOR FRONT LOADED GARAGES ONLY) FROM THE FRONT OF THE HOME, INCLUSIVE OF FRONT PORCH IF APPLICABLE.
- ALL HOMES TO HAVE A MINIMUM 30" BRICK OR STONE 4-SIDED WATER TABLE.
- SQUARE FOOTAGE OF HOMES TO BE A MINIMUM 2,300 SF UNDER ROOF.
- A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE EXTERNAL WALL SURFACE AREA OF THE RESIDENCE (EXCLUDING WINDOWS, DOORS, GARAGE DOORS, AND OTHER FENESTRATION) SHALL BE FINISHED WITH MASONRY MATERIALS. ACCEPTABLE MASONRY INCLUDE, BUT NOT LIMITED TO ARE: BRICK, STONE, CAST STONE, MANUFACTURED STONE VENEER, AND STUCCO (NON-SYNTHETIC).
- UP TO TWENTY-FIVE PERCENT (25%) OF THE EXTERNAL WALL SURFACE AREA MAY UTILIZE SECONDARY OR ACCENT MATERIALS. THESE ACCENT MATERIALS MUST BE COMPLEMENTARY IN COLORS AND STYLE TO THE PRIMARY MASONRY MATERIALS, AND MAY INCLUDE: FIBER-CEMENT PANELS, LAP SIDING, BOARD-AND-BATTEN SIDING, ARCHITECTURAL METAL PANELS, OR DECORATIVE WOOD ELEMENTS.
- ALL TRANSITIONS BETWEEN THE PRIMARY MASONRY MATERIALS AND THE ACCENT MATERIALS SHALL BE ARCHITECTURALLY DETAILED AND EXECUTED IN A MANNER THAT APPEARS DELIBERATE AND INTEGRAL TO THE DESIGN.

- ARCHITECTURAL ENHANCEMENTS:

IN ADDITION TO THE ARCHITECTURAL STANDARDS LISTED WITHIN THIS SP, EACH HOME WILL BE REQUIRED TO HAVE A MINIMUM OF THREE (3) OF THE FOLLOWING ARCHITECTURAL ENHANCEMENTS. BUILDER TO SELECT TWO (2) FROM LIST A AND ONE (1) FROM LIST B

**LIST A**

- GLASS WINDOW INSERTS IN GARAGE
- SHUTTERS
- ORNAMENTAL BRICK ON WINDOWS
- CARRIAGE STYLE GARAGE
- 2' BRICK COLUMN, CENTER OF GARAGE DOOR, DIVIDING INTO TWO DOORS
- 6' PORCH OR STOOP
- THREE CAR GARAGE
- HVAC SCREEN OR LOCATE IN THE REAR OF THE HOME
- BRICK OR STONE INTERLOCK STOOP AND/OR LEAD WALKWAY. PERMITTED MATERIALS INCLUDE: BRICK, BLUESTONE, LIMESTONE, FLAGSTONE, AND OR SLATE

**LIST B**

- COVERED PATIO
- MINIMUM 250 SF REAR PATIO
- OUTDOOR KITCHEN
- OUTDOOR FIREPLACE
- PERGOLA ACCENT
- GLASS INSERTS IN FRONT DOOR OR TRANSOM WINDOW ABOVE THE FRONT DOOR
- TWO (2) DECORATIVE LIGHTING FIXTURES ON THE FRONT FAÇADE
- WOODEN STAINED PORCH COLUMNS (MINIMUM OF TWO (2) COLUMNS)

**STANDARDS SPECIFIC**

- PARKING / GARAGES:

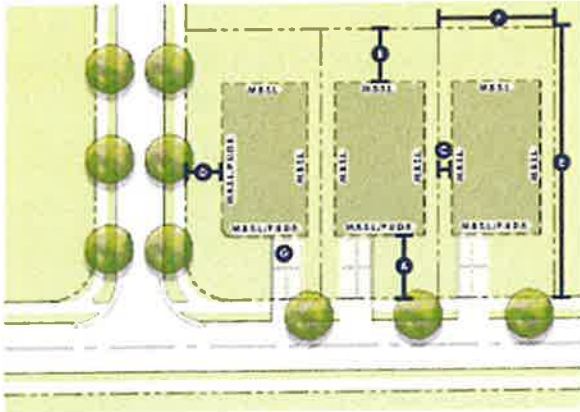
REQUIRED PARKING- EACH UNIT NEEDS TO PROVIDE AT LEAST FOUR PARKING SPACES WHICH SHALL BE ACHIEVED BY ANY ONE OR COMBINATION OF THE FOLLOWING:

- PROVIDE A DRIVEWAY THAT IS A MINIMUM OF 35' FEET LONG, FROM BACK OF SIDEWALK TO GARAGE FACE, AND AT LEAST 18' FEET WIDE.
- PLACE THE GARAGE ENTRANCE ON THE SIDE OR REAR OF THE BUILDING (CORNER AND DOUBLE LOADED LOTS, EXCLUDING ALLEY LOADED, SHALL ALSO MEET OPTION 1)
- PROVIDE AT LEAST TWO PARKING SPACES TO THE REAR OF THE BUILDING.
- PROVIDE AT LEAST TWO DEDICATED OFF-SITE PARKING SPACES WITHIN 300' FEET OF THE SUBJECT PROPERTY (MEASURED BY THE SHORTEST DISTANCE OF SIDEWALK OR PAVED TRAIL).
- GARAGE ENTRANCE SHALL BE RECESSED BY A MINIMUM OF 10' FROM THE FRONT OF THE HOME INCLUDING THE PORCH IF APPLICABLE

- FRONT LOADED SIDE SETBACK

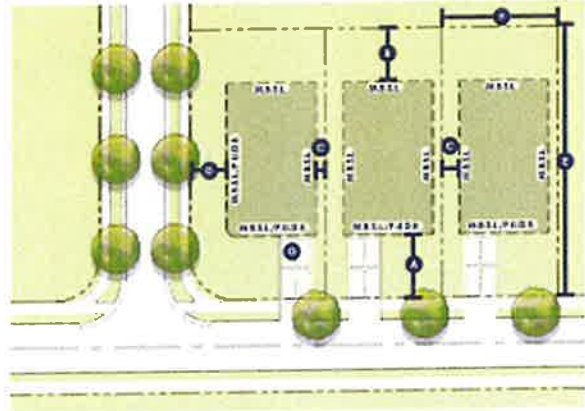
- ANY LOT THAT PROVIDES VEHICULAR ACCESS BY WAY OF THE FRONT PROPERTY LINE SHALL PROVIDE SIDE SETBACKS OF 7.5'. A PERMITTED ALTERNATE IS A 10'/5' SERIES.

**7.5' SERIES**



<b>A</b> Front Setback	25'
<b>B</b> Rear Setback	30'
<b>C</b> Side Setback	7.5'
<b>D</b> P.U.D.E.	20'
<b>E</b> Typical Lot Depth	Varies
<b>F</b> Typical Lot Width	Varies
<b>G</b> Typical Car	7' x 15'

**5' AND 10' SERIES**



<b>A</b> Front Setback	25'
<b>B</b> Rear Setback	30'
<b>C</b> Side Setback	5' to Series
<b>D</b> P.U.D.E.	20'
<b>E</b> Typical Lot Depth	Varies
<b>F</b> Typical Lot Width	Varies
<b>G</b> Typical Car	7' x 15'

NOTE: GRAPHIC ABOVE IS FOR DESIGN INTENT ONLY, ILLUSTRATING MINIMUM SETBACKS AND PARKING REQUIREMENTS. CURB CUTS, DRIVEWAYS, AND STREET TREES ARE SUBJECT TO CHANGE DURING SITE PLAN REVIEW.



Revised November 4th, 2025  
Specific Plan

• **ENTRANCES**

- WHERE APPLICABLE, PORCHES SHALL HAVE A MINIMUM CLEAR DEPTH OF SIX FEET EXCLUDING STEPS. PORCHES SHALL NOT ENCROACH INTO A PUBLIC RIGHT-OF-WAY.
- WHERE APPLICABLE, STOOPS SHALL HAVE A MINIMUM CLEAR DEPTH OF 3 FEET EXCLUDING STEPS. STOOPS SHALL NOT ENCROACH INTO PUBLIC RIGHT-OF-WAY.
- PORCH OR STOOP DEPTHS SHALL COUNT TOWARDS 10' RECESSED GARAGE REQUIREMENT WHERE APPLICABLE.

**SIGNAGE:**

- ALL SIGNAGE TO BE PAINTED BLACK, ORNATE IN NATURE, AND TO BE MAINTAINED BY THE HOA
- ALL SIGNAGE TO BE REVIEWED AND APPROVED BY THE HOA PRIOR TO INSTALLATION.



## SUBDISTRICT-HALSTON

### **USES PERMITTED:**

- DWELLING, ONE-FAMILY DETACHED

### **PROHIBITED USES:**

- ANY USE NOT SPECIFICALLY ALLOWED

### **USE AND STRUCTURE PROVISIONS:**

- **PERMITTED ACCESSORY USES:**

PERMITTED ACCESSORY USES IN ADDITION TO THE PRINCIPAL PERMITTED USES, EACH ACTIVITY TYPE MAY INCLUDE ACCESSORY ACTIVITIES CUSTOMARILY ASSOCIATED WITH, AND APPROPRIATE INCIDENTAL, AND SUBORDINATE TO THE PRINCIPAL ACTIVITY LOCATED ON THE SAME ZONE LOT. THESE INCLUDE:

PRIVATE GARAGES AND PARKING AREAS, RECREATION FACILITIES EXCLUSIVELY FOR THE USE OF THE RESIDENTS, HOME OCCUPATIONS AS DEFINED AND SUBJECT TO FURTHER REGULATIONS CONTAINED IN CHAPTER 8, SECTION 14.801(N).

SIGNS IN COMPLIANCE WITH THE REGULATIONS SET FORTH IN THE LEBANON SIGN ORDINANCE.

### **BULK, YARD, AND DENSITY REGULATIONS:**

- MINIMUM LOT AREA:
  - 20,000 SF
- MINIMUM LOT WIDTH AT BUILDING LINE:
  - 90'
  - LOTS LOCATED ON A CUL-DE-SAC MAY HAVE A MINIMUM LOT WIDTH EQUIVALENT TO 75% OF THE MINIMUM LOT WIDTH AT THE BUILDING LINE
- MINIMUM YARD DEPTHS/ BUILDING SETBACKS
  - FRONT: 40'
  - REAR: 30'
  - SIDE (1 TO 2 STORIES): 10'
  - SIDE (3 STORIES): 15'

SIDE ON CORNER LOTS TO BE 20'

- MAXIMUM LOT COVERAGE OF STRUCTURES:
  - 35% OF TOTAL LOT



• **MAXIMUM HEIGHT:**

- PRINCIPAL BUILDING HEIGHT: 3 STORIES
- ACCESSORY STRUCTURES HEIGHT: 2 STORIES (1,000SF)

ACCESSORY STRUCTURES SHALL BE SUBORDINATE IN SIZE AND HEIGHT TO THE PRIMARY STRUCTURE, CONFORM WITH THE PRINCIPAL STRUCTURE, AND BE APPROVED THROUGH THE HOA.

**CIRCULATION AND MOBILITY:**

• **MINIMUM CONNECTIVITY COEFFICIENT (2.83)**

THE MINIMUM CONNECTIVITY COEFFICIENT CHART BELOW IS TO BE UTILIZED IN LIEU OF 14.807.D.1.C.II & III

Development Type (District)	Min Coefficient
Residential (RS20, RS12, RS9, RS6, RD9)	3.00
Residential/Mixed-use/Commercial (RM6, RMH, RXH, CXU, RPI, CMO, CS)	3.25
Residential/Mixed-use/Commercial (DXU, TOD)	3.50
Commercial (CMO, CS, CI)	3.00
Industrial (IL, IW, IV, IH)	2.75
Exempt Districts (RPO, UC, CF)	

• **EXTERNAL CONNECTIONS**

- ROAD CONNECTIONS:
  - FOUR (4) TOTAL EXTERNAL CONNECTIONS TO BE PROVIDED. THREE (3) LOCATED ON THE NEW CARVER EXTENSION AND ONE (1) R.O.W STUB PROPOSED FOR FUTURE CONNECTION. ONE ADDITIONAL CONNECTION ON THE NORTH SIDE TO CARVER LANE SHALL BE ADDED DURING REVIEW.

• **DEAD-END/CUL-DE-SAC STREETS**

- PERMANENT DEAD-END /CUL-DE-SAC STREETS SHALL NOT EXCEED 500 FEET IN LENGTH

• **BICYCLE AND PEDESTRIAN CONNECTIVITY**

- SHALL COMPLY WITH THE MINIMUM CITY STANDARDS IN PLACE AT THE TIME OF THIS SP APPROVAL. ANY MODIFICATIONS WILL BE AT THE DISCRETION OF PLANNING & ENGINEERING STAFF.

• **MAIL KIOSK**

- NO RESIDENTIAL UNIT SHALL BE LOCATED MORE THAN .25 MILES FROM THE MAIL KIOSK (CLUSTER BOX) FACILITY THAT SERVES IT WITHOUT APPROVAL FROM THE USPS. THIS DISTANCE SHALL BE MEASURED FROM THE NEAREST POINT OF THE FRONT PROPERTY LINE FOR A SUBDIVIDED UNIT OR THE FRONT DOOR OF A UNIT FOR UNSUBDIVIDED UNITS TO THE NEAREST ENTRANCE OF THE FACILITY BY WAY OF PEDESTRIAN PATH COMPLIANT WITH THE AMERICAN WITH DISABILITY ACT (ADA). EXISTING OR PROPOSED.

**LANDSCAPE:**

- BUFFERS: ALL PLANTINGS SHALL MEET THE INSTALLATION AND PLANTING SIZE REQUIREMENTS SPECIFIED IN 14.805. E.6. "PLANT MATERIAL STANDARDS."
  - A FIFTY (50') BUFFER YARD IS TO BE PRESERVED ALONG THE NEW CARVER EXTENSION, CARVER LANE, AND MAPLE HILL, WHERE LOTS BACK UP TO THE RIGHT-OF-WAY. TO THE FULLEST EXTENT FEASIBLE, THE PRESERVATION OF EXISTING CANOPY SHALL REMAIN. IN THE EVENT EXISTING CANOPY IS REMOVED, CAUSING UNDESIRED GAPS WITHIN THE BUFFER YARD, SUPPLEMENTAL SCREENING SHOULD BE INSTALLED.
- STREET TREES: ALONG ALL STREET FRONTAGES, STREET TREES SHALL BE PLANTED SO THAT A MINIMUM OF ONE (1) TREE IS REQUIRED FOR EVERY FORTY (40) FEET OF STREET FRONTAGE.
  - ALTERNATE PATTERNS ARE PERMITTED SO LONG AS THE MINIMUM NUMBER OF TREES IS EQUAL TO OR GREATER THAN THE MINIMUM FORMULA OF 1 TREE PER 40' OF STREET FRONTAGE.
- SIDEWALKS AND PLANTING STRIP:
  - MIN. PLANTING STRIP WIDTH: 6'
  - MIN. SIDEWALK WIDTH: 5'
  - STREET TREE LOCATION: PLANTING STRIP
- PLANTING STRIP CHARACTER:
  - GRASS
- MINIMUM FOUNDATION PLANTING WIDTH:
  - 4'
- FOUNDATION PLANTING CHARACTER:
  - TWO (2) MEDIUM EVERGREEN SHRUBS AS SPECIFIED IN SECTION 14.805.D.6 FOR EVERY FORTY (40) FEET OF BUILDING FAÇADE
  - EIGHT (8) SMALL EVERGREEN OR DECIDUOUS SHRUBS (OR COMBINATION THEREOF) OF AT LEAST TWO DIFFERENT SPECIES AS SPECIFIED IN SECTION 14.805.D.6 FOR EVERY THIRTY (30) FEET OF BUILDING FAÇADE. THIS REQUIREMENT MAY ALSO BE MET WITH A COMBINATION OF SHRUBS AND ORNAMENTAL GRASSES.
  - ONE (1) EVERGREEN SPECIMEN, ORNAMENTAL TREE, OR CLASS II SHADE TREE TO BE PLANTED WITHIN THE FRONT YARD OF EACH LOT
  - ONE (1) CLASS II SHADE TREE TO BE PLANTED WITHIN THE REAR YARD OF EACH LOT



**OPEN SPACE:**

- SORELLE TO PROVIDE 15% USABLE OPEN SPACE (25% TO BE USED AS PARKS, GREENS, OR SQUARES)

**PHASING:**

- ANTICIPATED TO BE DEVELOPED IN 3 PHASES
- FINAL PHASING WILL BE BASED ON MARKET CONDITIONS.



**ARCHITECTURE:**

- SINGLE-FAMILY AND TWO-FAMILY RESIDENTIAL PERMITTED MATERIALS

BUILDING MATERIALS	LISTS		
	1	2	3
Brick	✓	✓	✓
Stone	✓	✓	✓
Cast Stone	✓	✓	✓
Stucco (authentic)	✓	✓	✓
Wood siding/shingles/trim	✓	✓	✓
Fiber Cement siding/shingles/trim	✓	✓	✓
Composite siding	✓	✓	✓
EIFS (upper stories only)	✓	✓	✓
Manufactured stone veneer siding	✓	✓	✓
Architectural Metal panel		✓	✓
Concrete (finished)		✓	✓
Fiber cement panel		✓	✓
Composite panel			✓
Concrete block (split faced/fluted)			✓
Concrete block			✓
Concrete (unfinished)			✓
Metal siding			✓
<i>Any other legal building material</i>			✓

- BUILDING MATERIALS

- PRIMARY FAÇADE MATERIALS

- A MINIMUM OF 75% OF THE PRIMARY FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
    - A MAXIMUM OF 25% OF THE PRIMARY FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 2 IN TABLE 14.808-1B.

- SECONDARY FAÇADE MATERIALS

- A MINIMUM OF 60% OF THE SECONDARY FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
    - A MAXIMUM OF 40% OF THE SECONDARY FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 2 IN TABLE 14.808-1B.



- REAR FAÇADE MATERIALS
  - A MINIMUM OF 60% OF THE REAR FAÇADES, EXCLUSIVE OF OPENINGS, SHALL INCLUDE MATERIALS SELECTED FROM LIST 1 IN TABLE 14.808-1B.
  - A MAXIMUM OF 40% OF THE REAR FAÇADES, EXCLUSIVE OF OPENINGS, MAY INCLUDE MATERIALS SELECTED FROM LIST 3 IN TABLE 14.808-1B.

- MULTIPLE MATERIALS:

BUILDING FAÇADES SHALL BE BUILT OF NO MORE THAN THREE PRIMARY MATERIALS (SEE FIGURE 14.808-2). THIS DEVELOPMENT WILL CONSIST OF CUSTOM/ HIGH-END BUILDERS THAT WILL HAVE VARIATIONS IN ARCHITECTURE TO MEET THE DEMANDS OF THE LUXURY MARKET.

- ADDITIONAL STANDARDS:

- ALL HOMES TO HAVE A MINIMUM 3-CAR GARAGE, SIDE ENTRY OR 2 ON THE SIDE AND 1 FACING THE FRONT.
- ALL HOMES TO HAVE A MINIMUM 30" BRICK OR STONE 4-SIDED WATER TABLE
- NO MASS GRADING OR MASS CLEAR CUTTING ALLOWED
- THERE SHALL NOT BE MORE THAN 5 LOTS WITH THE SAME FLOOR PLAN, AND EACH WITH A DIFFERENT ELEVATION.
- NO EXACT ELEVATIONS ALLOWED TO BE WITHIN 4 LOTS OF ONE ANOTHER AND COLOR SCHEME OF EXTERIORS MUST BE DIFFERENT
- A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE EXTERNAL WALL SURFACE AREA OF THE RESIDENCE (EXCLUDING WINDOWS, DOORS, GARAGE DOORS, AND OTHER FENESTRATION) SHALL BE FINISHED WITH MASONRY MATERIALS. ACCEPTABLE MASONRY INCLUDE, BUT NOT LIMITED TO ARE: BRICK, STONE, CAST STONE, MANUFACTURED STONE VENEER, AND STUCCO (NON-SYNTHETIC).
- UP TO TWENTY-FIVE PERCENT (25%) OF THE EXTERNAL WALL SURFACE AREA MAY UTILIZE SECONDARY OR ACCENT MATERIALS. THESE ACCENT MATERIALS MUST BE COMPLEMENTARY IN COLORS AND STYLE TO THE PRIMARY MASONRY MATERIALS, AND MY INCLUDE: FIBER-CEMENT PANELS, LAP SIDING, BOARD-AND-BATTEN SIDING, ARCHITECTURAL METAL PANELS, OR DECORATIVE WOOD ELEMENTS.

- ARCHITECTURAL ENHANCEMENTS:

IN ADDITION TO THE ARCHITECTURAL STANDARDS LISTED WITHIN THIS SP, EACH HOME WILL BE REQUIRED TO HAVE A MINIMUM OF THREE (3) OF THE FOLLOWING ARCHITECTURAL ENHANCEMENTS.

- 40 YEAR LUXURY SHINGLE AND/OR HIDDEN FASTENER STANDING SEAM METAL ROOF, SHAKE OR SLATE PRODUCT, OR COMBO THEREOF
- WOOD WINDOWS (ALUMINUM CLAD EXTERIORS
- WOOD OR IRON FRONT DOORS
- WOOD PORCH CEILINGS
- 70% MASONRY EXTERIORS ON ALL 4 SIDES
- REAL STONE THIN CUT STONE VENEER
- HALF ROUND GUTTER AND ROUND DOWNSPOUTS
- ALUMINUM OR IRON RAILS
- BLACK ALUMINUM OR IRON FENCING
- EVERGREEN TREES ALONG PROPERTY LINES IN LIEU OF PRIVACY FENCING



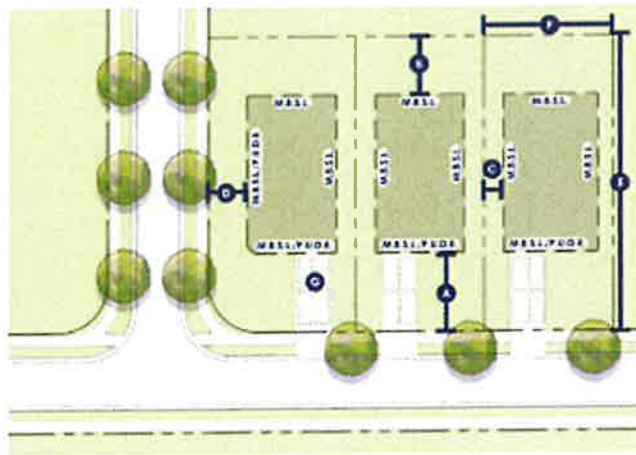
**STANDARDS SPECIFIC**

• **PARKING / GARAGES:**

**REQUIRED PARKING-** EACH UNIT NEEDS TO PROVIDE AT LEAST FOUR PARKING SPACES WHICH SHALL BE ACHIEVED BY ANY ONE OR COMBINATION OF THE FOLLOWING:

- PROVIDE A DRIVEWAY THAT IS A MINIMUM OF 35' FEET LONG, FROM BACK OF SIDEWALK TO GARAGE FACE, AND AT LEAST 18' FEET WIDE.
- PLACE THE GARAGE ENTRANCE ON THE SIDE OR REAR OF THE BUILDING (CORNER AND DOUBLE LOADED LOTS, EXCLUDING ALLEY LOADED, SHALL ALSO MEET OPTION 1)
- PROVIDE AT LEAST TWO PARKING SPACES TO THE REAR OF THE BUILDING.
- PROVIDE AT LEAST TWO DEDICATED OFF-SITE PARKING SPACES WITHIN 300' FEET OF THE SUBJECT PROPERTY (MEASURED BY THE SHORTEST DISTANCE OF SIDEWALK OR PAVED TRAIL).

**10' SIDE SETBACKS**



<b>A</b> Front Setbacks	40'
<b>B</b> Rear Setbacks	20'
<b>C</b> Side Setbacks	10'
<b>D</b> Front Setbacks	20'
<b>E</b> Typical Lot Depth	Varies
<b>F</b> Typical Lot Width	Varies
<b>G</b> Typical Lot	7' x 10'

**SIGNAGE:**

- ALL SIGNAGE TO BE PAINTED BLACK, ORNATE IN NATURE, AND TO BE MAINTAINED BY THE HOA
- ALL SIGNAGE TO BE REVIEWED AND APPROVED BY THE HOA PRIOR TO INSTALLATION.



**ZONING COMPARISON**

**RS12-Medium Density Residential District**

**Uses Permitted**  
Dwelling, Single Family

**Prohibited Uses**  
Special training and schooling services offered by private individuals for profit nor technical schools, colleges, or universities  
Any use not specifically allowed

**Minimum Lot Area**  
12,000 sq ft.

**Minimum Lot Width at Building Line**  
75'

**Future Land Use**  
3 units per Ac

**Minimum Yard Depths/Building Setbacks**  
Front: 35'  
Rear: 30'  
Side: 1 or 2 stories - 10'  
3 stories - 15'  
Side on corner lots- 50% greater than min. side yard

**Max Lot Coverage of Structures**  
35% of total lot

**Max Height**  
Building Height - 3 stories (Principal Building)  
1 stories (Accessory Structures)

**Open Space**  
15% usable open space (25% to be used as parks, greens, or squares)

**Parking**  
2 parking spaces

**SP-Sorelle-Subdistrict Arden**

**Uses Permitted (Sorelle)**  
Dwelling, Single Family

**Prohibited Uses (Sorelle)**  
Special training and schooling services offered by private individuals for profit nor technical schools, colleges, or universities  
Any use not specifically allowed

**Minimum Lot Area (Subdistrict Arden)**  
Median Lot Average: 15,866.5 sq ft.  
59 lots (10,000-14,999 sq ft)  
122 lots (15,000-19,999 sq ft)  
29 lots (20,000- +)

**Minimum Lot Width at Building Line (Subdistrict Arden)**  
65'

**Proposed Land Use (Subdistrict Arden)**  
1.4 units per Ac

**Minimum Yard Depths/Building Setbacks (Subdistrict Arden)**  
Front: 35' with 10' recessed garages  
Rear: 30'  
Side: 1 or 2 stories - 7.5' (10/5' option)  
3 stories - 12'  
Side on corner lots to be 20'

**Max Lot Coverage of Structures (Subdistrict Arden)**  
41% of total lot

**Max Height (Sorelle)**  
Building Height - 3 stories (Principal Building)  
1 stories (Accessory Structures)

**Open Space (Sorelle)**  
15% usable open space (25% to be used as parks, greens, or squares)

Dedicated Public Greenway

**Parking (Sorelle)**  
4 parking spaces



**ZONING COMPARISON**

<b><u>RS20-Low Density Residential District</u></b>	<b><u>SP-Halston-Subdistrict Halston</u></b>
<b><i>Uses Permitted</i></b> Dwelling, Single Family	<b><i>Uses Permitted (Sorelle)</i></b> Dwelling, Single Family
<b><i>Uses Prohibited</i></b> Special training and schooling services offered by private individuals for profit nor technical schools, colleges, or universities Any use not specifically allowed	<b><i>Uses Prohibited (Sorelle)</i></b> Special training and schooling services offered by private individuals for profit nor technical schools, colleges, or universities Any use not specifically allowed
<b><i>Minimum Lot Area</i></b> 20,000 sq ft.	<b><i>Minimum Lot Area (Subdistrict Halston)</i></b> 20,000 sq ft. <b>Average lot area: 31,220 sq ft.</b>
<b><i>Minimum Lot Width</i></b> 90'	<b><i>Minimum Lot Width (Subdistrict Halston)</i></b> 90' Lots located on a cul-de-sac may have a minimum lot width equivalent to 75% of the minimum lot width at the building line
<b><i>Future Land Use</i></b> 3 units per Ac	<b><i>Proposed Land Use (Subdistrict Halston)</i></b> <b>1.05 units per Ac</b>
<b><i>Minimum Yard Setbacks</i></b> Front: 40' Rear: 30' Side: 1 or 2 stories - 10' 3 stories - 15'	<b><i>Minimum Yard Setbacks (Subdistrict Halston)</i></b> Front: 40' Rear: 30' Side: 1 or 2 stories - 10' 3 stories - 15'
<b><i>Max Lot Coverage</i></b> 35% of total lot	<b><i>Max Lot Coverage (Subdistrict Halston)</i></b> 35% of total lot
<b><i>Max Height</i></b> Building Height - 3 stories (Principal Building) 2 stories (Accessory Structures)	<b><i>Max Height (Sorelle)</i></b> Building Height - 3 stories (Principal Building) 2 stories (Accessory Structures)
<b><i>Open Space</i></b> 10% usable open space (20% to be parks, greens, or squares)	<b><i>Open Space (Sorelle)</i></b> <b>15% usable open space (25% to be used as parks, greens, or squares)</b> <b>Dedicated Public Greenway</b>
<b><i>Parking</i></b> 2 parking spaces	<b><i>Parking</i></b> <b>4 parking spaces</b>



**SP SORELLE PUBLIC BENEFITS: GREENWAY, UTILITY, AND ROADWAY IMPROVEMENTS:**

- DURING THE SITE PLAN APPROVAL PROCESS, THE CITY OF LEBANON WILL ENTER INTO A DEVELOPMENT AGREEMENT REGARDING THE TIMING, CONSTRUCTION, DEDICATION, AND MAINTENANCE RESPONSIBILITIES FOR A 12' MULTIMODAL GREENWAY
- PROPOSED OFFSITE ROADWAY IMPROVEMENTS INCLUDE AN EXTENSION OF CARVER LANE TO A ROUNDABOUT LOCATED ON MAPLE HILL, ALLEVIATING CONGESTION WHILE IMPROVING SIGHT VISIBILITY. THE EXTENSION WILL BE A BOULEVARD SECTION DOUBLING AS A TRAFFIC CALMING MEASURE FOR EXISTING SPEED CONCERNS ON CARVER LANE. IN ADDITION, THIS SP WILL WORK WITH STAFF REGARDING THE REDESIGN OF THE EXISTING CARVER LANE CURVE, AT FARMINGTON WOODS, TO MEET CURRENT ENGINEERING STANDARDS OR AN ALTERNATE SOLUTION THAT WILL ADDRESS TRAFFIC SAFETY AND OPERATIONS. DEVELOPER TO CONTINUE WORKING WITH STAFF REGARDING SPECIFICS OF IMPROVEMENTS. A TRAFFIC IMPACT STUDY WILL BE COMPLETED PRIOR TO THE SITE PLAN PROCESS.
- DEVELOPER MAY PETITION THE CITY OF LEBANON TO CREATE AN INFRASTRUCTURE IMPROVEMENT DISTRICT TO FACILITATE FINANCING PUBLIC INFRASTRUCTURE RELATED TO ROAD IMPROVEMENTS, SEWER AND A PUBLIC PARK.
- AS PART OF THE SITE PLAN APPROVAL PROCESS, THE CITY OF LEBANON AND DEVELOPER WILL ENTER INTO A SEWER DEVELOPMENT AGREEMENT TO DETERMINE TIMING, CONSTRUCTION, DEDICATION, AND MAINTENANCE RESPONSIBILITIES TO EXTEND AND UPSIZE MAINS AND CONSTRUCT A NEW LIFT STATION. THE AGREEMENT WILL DETERMINE MECHANISMS FOR EASEMENT ACQUISITION, INCLUDING THE CITY OF LEBANON'S ASSISTANCE IN OBTAINING EASEMENTS FOR THE UPSIZING AND CONSTRUCTION OF THE SEWER INFRASTRUCTURE. THE AGREEMENT WILL ADDRESS CAPACITY FEE WAIVER/REIMBURSEMENT RELIEF TO THE DEVELOPER FOR EFFECTUATING UTILITY IMPROVEMENTS THAT BENEFIT THE PUBLIC AND REGION. ADDITIONALLY, THE AGREEMENT MAY DETERMINE CITY CONTRIBUTIONS TO THE DIFFERENCE OF ANY LINE UPSIZING OR ADDITIONAL LIFT STATION CAPACITY IN EXCESS OF THE PROJECT'S REQUIREMENTS.
- OFF-SITE ROAD IMPROVEMENTS AT MAPLE HILL ROAD & W MAIN STREET INTERSECTION TO BE DETERMINED BY THE ENGINEERING DEPARTMENT DURING REVIEW.

EXHIBIT B



**ARDEN**

**SITE DATA**  
**SITE ADDRESS:** MAPLE HILL ROAD, LEBANON, TN  
**TOTAL SITE ACREAGE:** ±150 AC

**PROPOSED LOT COUNT:** 210 UNITS  
**PROPOSED UNITS/AC:** 1.40 UNITS/AC  
**AVERAGE LOT AREA:** 70% (15,000 OR GREATER)  
 - (59) LOTS: 10,000 - 14,999 SF  
 - (122) LOTS: 15,000 - 19,999 SF  
 - (29) LOTS: 20,000 - 29,999 SF

**BULK STANDARDS**  
**MIN. LOT WIDTH:** 65' AT BUILDING LINE  
**MINIMUM YARD DEPTHS/BUILDING SETBACKS:**  
**FRONT:** 35' (WITH 10' RECESSED GARAGES)  
**REAR:** 30'  
**SIDE (1 TO 2 STORIES):** 7.5'

\*SPECIFIC TO FRONT LOADED GARAGES: GARAGE ENTRANCE SHALL BE RECESSED BY A MIN. OF 10' FROM FRONT OF THE HOME INCLUDING A PORCH OR STOOP IF APPLICABLE.  
 \*\*PERMITTED ALTERNATE SIDE SET BACK SHALL BE A 10' & 5' SERIES

# SORELLE

**TOTAL AC:** ±7.246 AC  
**PARCELS:** 095 046 02101 000  
 095 046 01800 000  
 095 046 01801 000  
 1

**WARD:** ARDEN  
**EXISTING ZONING:** COUNTRY RURAL R1  
**BASELINE ZONING:** SP (SPECIFIC PLAN DISTRICT)  
 ARDEN  
**FUTURE LAND USE:** RS12  
 RS20  
 RESIDENTIAL 3 UNITS/AC

**PROPOSED LOT COUNT:** 311 UNITS  
**PROPOSED UNITS/AC:** 1.24 UNITS/AC  
**AVERAGE LOT AREA:** 21,432 SF  
**MEDIAN LOT AREA:** 18,011 SF

**OPEN SPACE PROVIDED:** 15% USABLE OPEN SPACE  
(20% FROM TOTAL PARKING GARAGE DECK AREAS)

**LOCAL STREET DESIGN SPEED:** 25 MPH (WITH ASSOCIATED CHANGES)

**HALSTON**

**SITE DATA**  
**SITE ADDRESS:** CARVER LANE, LEBANON, TN  
**TOTAL SITE ACREAGE:** ±96 AC

**PROPOSED LOT COUNT:** 101 UNITS  
**PROPOSED UNITS/AC:** 1.05 UNITS/AC  
**AVERAGE LOT AREA:** 35% (30,000 OR GREATER)  
 - (45) LOTS: 20,000 - 29,999 SF  
 - (47) LOTS: 30,000 - 43,559 SF  
 - (9) LOTS: 1 AC +

**MIN. LOT WIDTH:** 90' AT BUILDING LINE  
 LOTS LOCATED ON A CUL-DE-SAC MAY HAVE A MINIMUM LOT WIDTH EQUIVALENT TO 75% OF THE MINIMUM LOT WIDTH AT THE BUILDING LINE

**MINIMUM YARD DEPTHS/BUILDING SETBACKS:**  
**FRONT:** 40'  
**REAR:** 35'  
**SIDE (1 TO 2 STORIES):** 10'



DATE: SEPTEMBER 23RD, 2025  
 REVISED: NOVEMBER 13TH, 2025  
 CAR1  
 THE PATTERN BOOKLET IS FOR DESIGN INTENT ONLY AND IS INTENDED TO BE USED AS A VISUAL REFERENCE TO THE GOVERNING SP DOCUMENT. GRAPHICS ARE SUBJECT TO CHANGE DURING THE SITE PLAN REVIEW PROCESS.  
 ALL ROADS TO BE BUILT TO ENGINEERING STANDARDS AT TIME OF CONSTRUCTION.

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6. STREET SECTIONS
7. STREET NETWORK
8. GREENWAYS
9. AVERAGE LOT SIZE TABLE
- 10-11. ARCHITECTURE - ARDEN DISTRICT
12. ARCHITECTURE - HALSTON DISTRICT

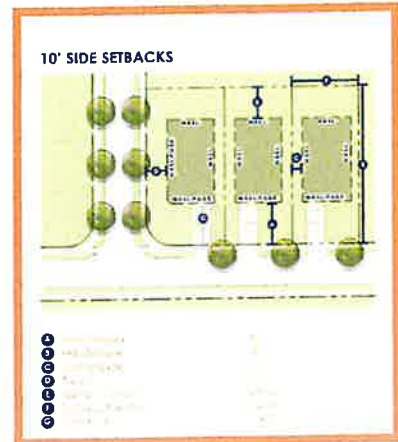
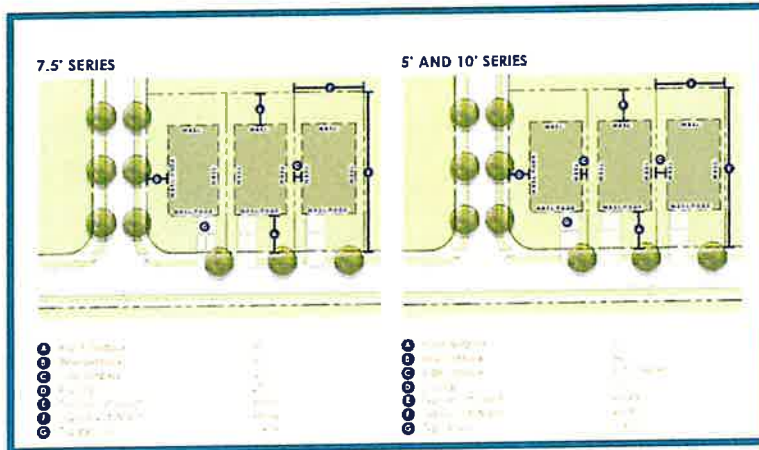




# SORELLE STANDARD SPECIFICS (SETBACKS AND PARKING)

ARDEN DISTRICT

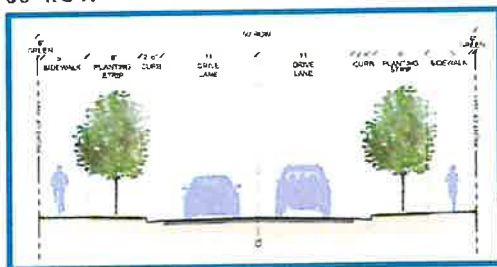
HALSTON DISTRICT



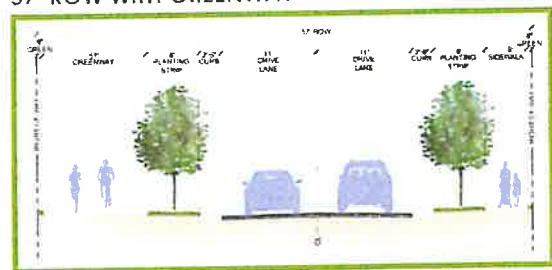
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# SORELLE STREET SECTIONS

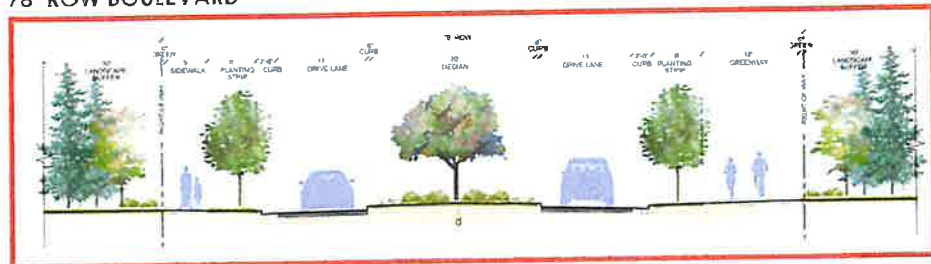
50' ROW



57' ROW WITH GREENWAY



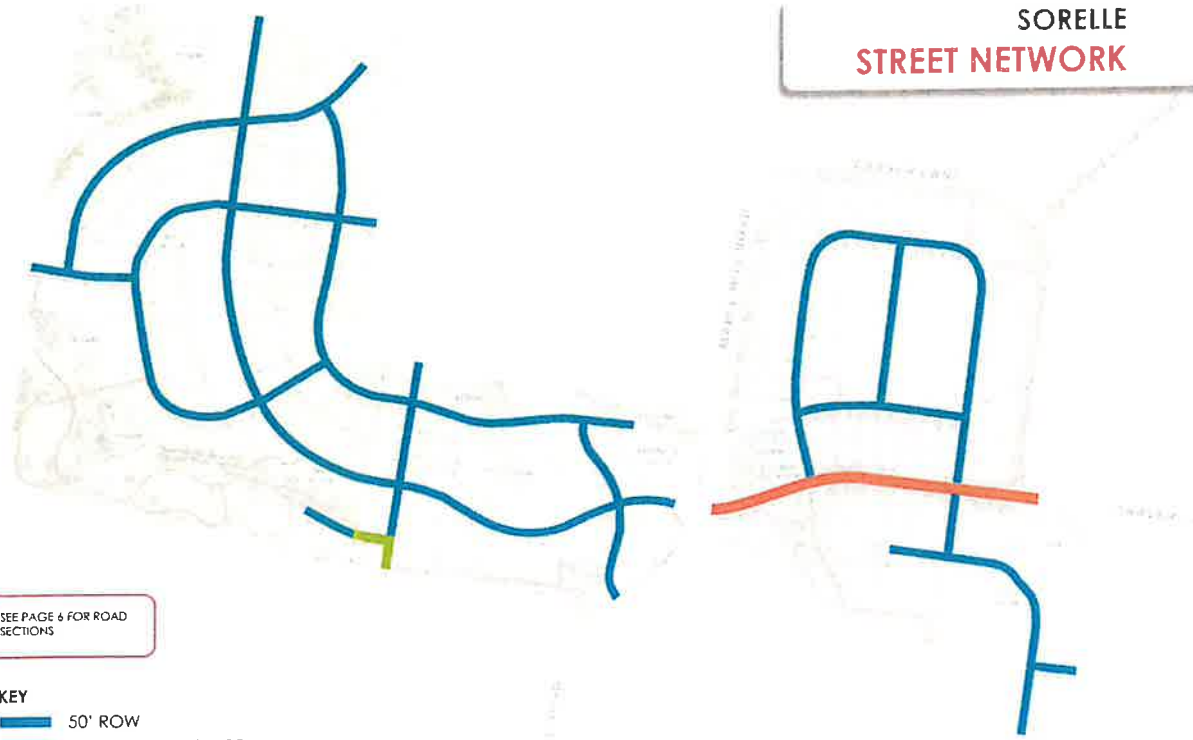
78' ROW BOULEVARD



SEE PAGE 7 FOR STREET NETWORK MAP.

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### SORELLE STREET NETWORK

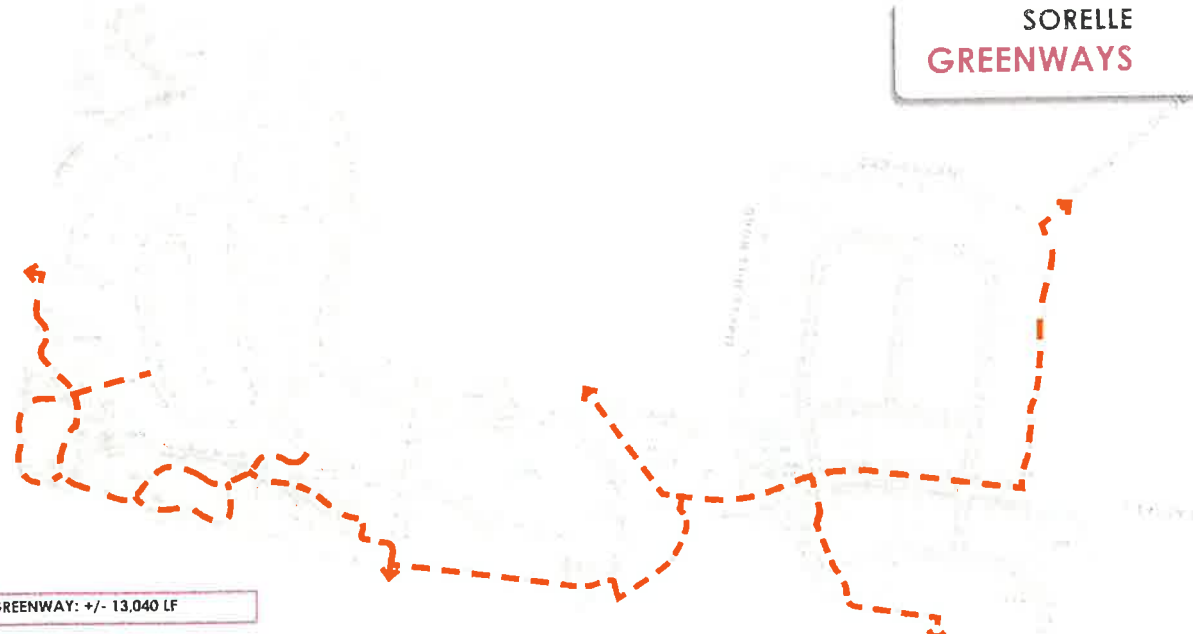


SEE PAGE 6 FOR ROAD SECTIONS

- KEY**
- 50' ROW
  - 78' ROW BOULEVARD
  - 57' ROW WITH GREENWAY

PAGE 7

### SORELLE GREENWAYS



GREENWAY: +/- 13,040 LF



PAGE 8

# SORELLE AVERAGE LOT SIZE TABLE

LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE	LOT AREA TABLE
Lot #	Min. Sq. Ft.	Lot #	Min. Sq. Ft.	Lot #	Min. Sq. Ft.	Lot #	Min. Sq. Ft.
1	10,000-11,999	41	20,000-21,999	111	30,000-31,999	201	40,000-41,999
2	12,000-13,999	42	22,000-23,999	112	32,000-33,999	202	42,000-43,999
3	14,000-15,999	43	24,000-25,999	113	34,000-35,999	203	44,000-45,999
4	16,000-17,999	44	26,000-27,999	114	36,000-37,999	204	46,000-47,999
5	18,000-19,999	45	28,000-29,999	115	38,000-39,999	205	48,000-49,999
6	20,000-21,999	46	30,000-31,999	116	40,000-41,999	206	50,000-51,999
7	22,000-23,999	47	32,000-33,999	117	42,000-43,999	207	52,000-53,999
8	24,000-25,999	48	34,000-35,999	118	44,000-45,999	208	54,000-55,999
9	26,000-27,999	49	36,000-37,999	119	46,000-47,999	209	56,000-57,999
10	28,000-29,999	50	38,000-39,999	120	48,000-49,999	210	58,000-59,999
11	30,000-31,999	51	40,000-41,999	121	50,000-51,999	211	60,000-61,999
12	32,000-33,999	52	42,000-43,999	122	52,000-53,999	212	62,000-63,999
13	34,000-35,999	53	44,000-45,999	123	54,000-55,999	213	64,000-65,999
14	36,000-37,999	54	46,000-47,999	124	56,000-57,999	214	66,000-67,999
15	38,000-39,999	55	48,000-49,999	125	58,000-59,999	215	68,000-69,999
16	40,000-41,999	56	50,000-51,999	126	60,000-61,999	216	70,000-71,999
17	42,000-43,999	57	52,000-53,999	127	62,000-63,999	217	72,000-73,999
18	44,000-45,999	58	54,000-55,999	128	64,000-65,999	218	74,000-75,999
19	46,000-47,999	59	56,000-57,999	129	66,000-67,999	219	76,000-77,999
20	48,000-49,999	60	58,000-59,999	130	68,000-69,999	220	78,000-79,999
21	50,000-51,999	61	60,000-61,999	131	70,000-71,999	221	80,000-81,999
22	52,000-53,999	62	62,000-63,999	132	72,000-73,999	222	82,000-83,999
23	54,000-55,999	63	64,000-65,999	133	74,000-75,999	223	84,000-85,999
24	56,000-57,999	64	66,000-67,999	134	76,000-77,999	224	86,000-87,999
25	58,000-59,999	65	68,000-69,999	135	78,000-79,999	225	88,000-89,999
26	60,000-61,999	66	70,000-71,999	136	80,000-81,999	226	90,000-91,999
27	62,000-63,999	67	72,000-73,999	137	82,000-83,999	227	92,000-93,999
28	64,000-65,999	68	74,000-75,999	138	84,000-85,999	228	94,000-95,999
29	66,000-67,999	69	76,000-77,999	139	86,000-87,999	229	96,000-97,999
30	68,000-69,999	70	78,000-79,999	140	88,000-89,999	230	98,000-99,999
31	70,000-71,999	71	80,000-81,999	141	90,000-91,999	231	100,000-101,999
32	72,000-73,999	72	82,000-83,999	142	92,000-93,999	232	102,000-103,999
33	74,000-75,999	73	84,000-85,999	143	94,000-95,999	233	104,000-105,999
34	76,000-77,999	74	86,000-87,999	144	96,000-97,999	234	106,000-107,999
35	78,000-79,999	75	88,000-89,999	145	98,000-99,999	235	108,000-109,999
36	80,000-81,999	76	90,000-91,999	146	100,000-101,999	236	110,000-111,999
37	82,000-83,999	77	92,000-93,999	147	102,000-103,999	237	112,000-113,999
38	84,000-85,999	78	94,000-95,999	148	104,000-105,999	238	114,000-115,999
39	86,000-87,999	79	96,000-97,999	149	106,000-107,999	239	116,000-117,999
40	88,000-89,999	80	98,000-99,999	150	108,000-109,999	240	118,000-119,999

**SORELLE**

Min. Lot Average	Median	Total Lots	Percentage
10,000-11,999	38	19	
12,000-13,999	122	19.2	
14,000-15,999	74	23.8	
16,000-17,999	67	15.1	
18,000-19,999	9	2.8	
Average Sq. Ft.	21432.8		
Median Sq. Ft.	15811.5		

**ARDEN 102-317**

Min. Lot Average	Median	Total Lots	Percentage
10,000-11,999	59	29.1	
12,000-13,999	122	59.1	
14,000-15,999	29	13.8	
Average Sq. Ft.	18724.2		
Median Sq. Ft.	15610.5		

**HALSTON 1-101**

Min. Lot Average	Median	Total Lots	Percentage
10,000-11,999	41	44.4	
12,000-13,999	47	48.5	
14,000-15,999	9	9.8	
Average Sq. Ft.	13120.8		
Median Sq. Ft.	12000.0		



## ARDEN DISTRICT ARCHITECTURE

IMAGES SHOWN HEREIN ARE FOR DESIGN INTENT ONLY. FINAL ELEVATIONS TO BE SUBMITTED FOR APPROVAL DURING THE SITE PLAN PROCESS

## ARDEN DISTRICT ARCHITECTURE



\*IMAGES SHOWN HEREIN ARE FOR DESIGN INTENT ONLY. FINAL ELEVATIONS TO BE SUBMITTED FOR APPROVAL DURING THE SITE PLAN PROCESS.

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## HALSTON DISTRICT ARCHITECTURE



\*IMAGES SHOWN HEREIN ARE FOR DESIGN INTENT ONLY. FINAL ELEVATIONS TO BE SUBMITTED FOR APPROVAL DURING THE SITE PLAN PROCESS.

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86.63

## PUBLIC NOTICE

In reference to Ordinance No. 26-7340, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed zoning approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to Sorelle Hybrid Specific Plan in Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahle at 444-3647 x2304. The public is welcome to attend.

Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

# STATE OF TENNESSEE County of Wilson

Personally appeared before me,

Shelley K. Satterfield

A Notary Public of Tennessee,  
Dave Gould, who being first duly  
sworn, made oath that he is President  
of *The Wilson Post*, a newspaper, and  
that the hereto attached publication  
appeared in the same on the

12-10-2025

*Dave Gould*

Dave Gould, President

Subscribed and sworn to before me  
on the date of:

12-10-2025

*Shelley K. Satterfield*

Notary Public, Shelley K. Satterfield



# Bargain Browser CLASSIFIEDS

Wanted Cars & Vehicles For Sale Garage & Estate Sales Jobs Personal Real Estate & Auctions For Sale or Rent Services

**NOTICE TO Respondents, Mother and Father, the State of Tennessee, Department of Children's Services, has filed a PETITION** in regards to the minor child, **KALEE SUMNER, DOB 10/20/2025**; I further appear that ordinary process of law cannot be served upon you because your whereabouts are unknown. You are hereby ORDERED to appear in the Juvenile Court of Wilson County, Tennessee located at 155 East Main Street, Galatin, TN 37066, Tennessee, on the 8th day of January 2026 at 10:00 am to personally answer the PETITION. Failing to appear for the hearing on this date and time, without good cause, pursuant to the Tennessee Rules of Civil Procedure, will result in the loss of your right to contest the petition. You may view and obtain a copy of the Petition and any other subsequently filed legal documents at the Sumner County Juvenile Court Clerk's Office. Entered the 4th day of November, 2025 David Howard, Juvenile Judge. Prepared by State of Tennessee Department of Children's Services, Lee W. McDougal, BPR #275567 Assistant General Counsel 333 Hogg Street, Suite 201 Galatin, TN 37066 Wilson Post 11/25/2025, 12/2/2025, 12/17/2025

Maid, by publication in the Wilson Post, located in Wilson County, Tennessee, and online as well. IT IS SO ORDERED, ACKNOWLEDGED, AND DECREED. Melanie Taylor Jefferson CHANCELLOR MELANIE TAYLOR JEFFERSON DATE: 11-14-25 Submitted for entry by: Rachel Meadows Austin Rainey (851421) Rachel Meadows (85831) 8001 Centerville Parkway, Suite 103 Memphis, Tennessee 38118 Phone: (901) 372-6003 Fax: (901) 383-6539 amey@gaolnsconray.com rmeadows@gaolnsconray.com 11/25/2025 12/02/2025 12/17/2025

the Registrar's Office of Wilson County, Tennessee. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Paul E. Vitkus and wife, Kimberly G. Vitkus, their heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

Affidavit of Robert Rochelle, Attorney for the Plaintiff, that grounds exist for obtaining service of process by publication upon the Defendants Agnes L. Ashworth and Martin C. Ashworth, their heirs, devisees, successors and assigns and all unknown, unborn and unbound persons who claim any interest in and to that parcel of real property shown on the Official Tax Records of Wilson County, Tennessee as being Map 50 L, Group B, Parcel 8.0, and further described as lying in the 10th Civil District of Wilson County, Tennessee and being known as 100 Western Avenue, Lebanon, Wilson County, Tennessee. This property is also known as Lot 8 as shown on an unrecorded plat of Westview The last instrument conveying the said property containing a full and complete legal description of the said property is of record in Book 389, at page 907, in the Registrar's Office of Wilson County, Tennessee. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Agnes L. Ashworth and Martin C. Ashworth, their heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Waterbury, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF MT. JULIET, TENNESSEE, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS, a tax proceeding as defined by TCA 67-4-292 (H)(1)(D) DEFENDANTS YEAR NUMBER 2023 #2025CV1 MAP-50 L GROUP: B PARCEL: 8.0 Description: 17 Sports Rd ASSESSED OWNER(S): Reba Ellerbe ORDER OF PUBLICATION I appearing from the Complaint and Affidavit of Robert Rochelle, Attorney for the Plaintiff, that grounds exist for obtaining service of process by publication upon the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons who claim any interest in and to that parcel of real property shown on the Official Tax Records of Wilson County, Tennessee as being Map 50 L, Group B, Parcel 8.0, and further described as lying in the 1st Civil District of Wilson County, Tennessee and being known as 17 Sports Road, Mt. Juliet, Tennessee. This property is also known as Lot 1E of Sportsman Acres Subdivision as shown on a plat of record in Plat Book 7, at page 34 in the Registrar's Office of Wilson County, Tennessee. The last instrument conveying the said property containing a full and complete legal description of the said property is of record in Book 1845, Page 545 in said Office. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF WATERTOWN, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS, a tax proceeding as defined by TCA 67-4-292 (H)(1)(D) DEFENDANTS YEAR NUMBER 2023 #2025CV1 MAP-50 L GROUP: B PARCEL: 33.0 Description: 243W SportsmanAve ASSESSED OWNER(S): Reba Ellerbe ORDER OF PUBLICATION I appearing from the Complaint and Affidavit of Robert Rochelle, Attorney for the Plaintiff, that grounds exist for obtaining service of process by publication upon the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons who claim any interest in and to that parcel of real property shown on the Official Tax Records of Wilson County, Tennessee as being Map 50 L, Group B, Parcel 33.0, and further described as lying in the 1st Civil District of Wilson County, Tennessee. This property is also known as Lot 3W of Sportsman Acres Subdivision as shown on a plat of record in Plat Book 7, at page 34 in the Registrar's Office of Wilson County, Tennessee. The last instrument conveying the said property containing a full and complete legal description of the said property is of record in Book 1845, Page 545 in said Office. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Waterbury, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

IN THE CHANCERY COURT OF SHELBY COUNTY, TENNESSEE FOR THE THIRTIETH JUDICIAL DISTRICT AT MEMPHIS LACEY ANNETTE MEAD Plaintiff, v. SHAWN ALLEN MEAD, Defendant. No. CH-25-1492 Part I ORDER GRANTING PLAINTIFF'S MOTION FOR SERVICE BY PUBLICATION THIS CAUSE came before the Court on November 14, 2025, upon Plaintiff's Motion for Service by Publication, the Affidavit of Offense Search, the statements of counsel for Plaintiff, and the record as to a whole. Finding that good cause exists for service by publication, Plaintiff's Motion is GRANTED. Service upon the Defendant, Shawn Allen Mead, shall be completed by constructive service, and the Clerk of this Court is directed to serve the Defendant, Shawn Allen Mead, by publication in the Wilson Post, located in Wilson County, Tennessee, and online as well. IT IS SO ORDERED, ACKNOWLEDGED, AND DECREED. Melanie Taylor Jefferson CHANCELLOR MELANIE TAYLOR JEFFERSON DATE: 11-14-25 Submitted for entry by: Rachel Meadows Austin Rainey (851421) Rachel Meadows (85831) 8001 Centerville Parkway, Suite 103 Memphis, Tennessee 38118 Phone: (901) 372-6003 Fax: (901) 383-6539 amey@gaolnsconray.com rmeadows@gaolnsconray.com 11/25/2025 12/02/2025 12/17/2025

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF MT. JULIET, TENNESSEE, and the CITY OF WATERTOWN, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS DEFENDANTS YEAR NUMBER 2022 #2024CV3 MAP-13A GROUP: PARCEL: 3.01 Description: 536 AC Rainwoods Rd ASSESSED OWNER(S): Paul E. Vitkus and wife, Kimberly G. Vitkus ORDER OF PUBLICATION I appearing from the Complaint and Affidavit of Robert Rochelle, Attorney for the Plaintiff, that grounds exist for obtaining service of process by publication upon the Defendants Paul E. Vitkus and wife, Kimberly G. Vitkus, their heirs, devisees, successors and assigns and all unknown, unborn and unbound persons who claim any interest in and to that parcel of real property shown on the Official Tax Records of Wilson County, Tennessee as being Map 136, Parcel 3.01, and further described as lying in the 23rd Civil District of Wilson County, Tennessee and being known as Rainwoods Road, Lebanon, Wilson County, Tennessee, and containing 5.38 acres, more or less and known as Tract 1 on that plat of record at Plat Book 24, Page 423 in the Registrar's Office of Wilson County, Tennessee. The last instrument conveying the said property containing a full and complete legal description of the said property is of record in Book 948, at page 750 in

the Registrar's Office of Wilson County, Tennessee. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Agnes L. Ashworth and Martin C. Ashworth, their heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Waterbury, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF WATERTOWN, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS DEFENDANTS YEAR NUMBER 2023 #2025CV1 MAP-50 L GROUP: H PARCEL: 8.0 Description: Lot 8 Westview ASSESSED OWNER(S): Agnes L. Ashworth and Martin C. Ashworth ORDER OF PUBLICATION I appearing from the Complaint and

IN THE CHANCERY COURT OF WILSON COUNTY, TENNESSEE AT LEBANON WILSON COUNTY, TENNESSEE, and the CITY OF WATERTOWN, TENNESSEE PLAINTIFFS vs. DELINQUENT TAXPAYERS, a tax proceeding as defined by TCA 67-4-292 (H)(1)(D) DEFENDANTS YEAR NUMBER 2023 #2025CV1 MAP-50 L GROUP: B PARCEL: 33.0 Description: 243W SportsmanAve ASSESSED OWNER(S): Reba Ellerbe ORDER OF PUBLICATION I appearing from the Complaint and Affidavit of Robert Rochelle, Attorney for the Plaintiff, that grounds exist for obtaining service of process by publication upon the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons who claim any interest in and to that parcel of real property shown on the Official Tax Records of Wilson County, Tennessee as being Map 50 L, Group B, Parcel 33.0, and further described as lying in the 1st Civil District of Wilson County, Tennessee. This property is also known as Lot 3W of Sportsman Acres Subdivision as shown on a plat of record in Plat Book 7, at page 34 in the Registrar's Office of Wilson County, Tennessee. The last instrument conveying the said property containing a full and complete legal description of the said property is of record in Book 1845, Page 545 in said Office. I further appearing to the Court that the Plaintiff's have made and are continuing to make, a diligent effort to locate and give notice to all interested persons; IT IS THEREFORE, ORDERED, that service of process by publication is hereby ordered and the Defendants Reba Ellerbe, her heirs, devisees, successors and assigns and all unknown, unborn and unbound persons claiming any interest in the above described property are required to appear and answer or otherwise defend against the Complaint of Wilson County, Tennessee, the City of Waterbury, Tennessee, the City of Mt. Juliet, Tennessee and the City of Lebanon, Tennessee, whose attorney is ROBERT ROCHELLE, 109 North Castle Heights Avenue, Lebanon, Tennessee 37087, within thirty (30) days after the date of the last publication of this notice; otherwise, default judgment may be entered against them for the relief demanded in the Complaint presently pending in the Chancery Court of Wilson County, Tennessee at Lebanon, Tennessee. It is further ordered that this notice shall be published in the WILSON POST, a local newspaper of general circulation in Wilson County, Tennessee, once weekly for four (4) consecutive weeks and, pursuant to TCA 1-3-120, on the website known as www.foreclosureinfo.com for the same period. ENTERED the 20th day of November, 2025. CHANCELLOR C.K. SMITH APPROVED FOR ENTRY: Robert Rochelle Delinquent Tax Attorney Wilson Post 12/03/2025 12/10/2025 12/17/2025 12/24/2025

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## PUBLIC NOTICE OF REGULAR MEETINGS OF THE WILSON COUNTY PLANNING COMMISSION

Notice is hereby given that the Wilson County Planning Commission will meet, until further notice, in regular public session on the dates listed below: meeting time will be 10 a.m., the meetings will be held in the County Commission room of the Wilson County Courthouse, 228 East Main Street, for the purpose of considering and transacting all business that may come before said Commission, meeting may be postponed if inclement weather prevails and the Wilson County Courthouse is closed. Whenever reasonably possible, a copy of the agenda for any such meeting will be available for inspection at the Wilson County Development Services Office/Planning Division, located in the Courthouse Basement, Rm. 5, at least 24 hours in advance thereof, items may also be viewed on the following website: <https://www.wilsoncountyttn.gov/>

Friday, January 16, 2026	Friday, July 17, 2026
Friday, February 20, 2026	Friday, August 21, 2026
Friday, March 20, 2026	Friday, September 18, 2026
Friday, April 17, 2026	Friday, October 16, 2026
Friday, May 22, 2026	Friday, November 20, 2026
Wednesday, June 17, 2026	Friday, December 18, 2026

**PUBLIC NOTICE**  
In reference to Resolution No. 26-2811, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed annexation approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, & 21.01) to be added to Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlie at 444-3647 x2304. The public is welcome to attend. Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

**PUBLIC NOTICE**  
In reference to Resolution No. 26-2810, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed zoning approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01, & 21.01) to be added to Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlie at 444-3647 x2304. The public is welcome to attend. Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

## NOTICE OF PUBLIC HEARING

A public hearing will be held before the Wilson County Planning Commission on Friday, December 19, 2025 at 10:00 a.m. in the County Commission room of the Wilson County Courthouse, 228 East Main Street, Lebanon, Tennessee. Items for consideration: Application has been made by Josh White, ASM Land Surveyors, representing property owners Matthew & Candace Mooney, requesting to rezone property from (A-1) Agricultural to (R-1) Rural Residential. The property contains approximately 7.86 acres and is located at 4560 Benders Ferry Rd and is further referenced as Parcel 50.00 on Wilson County Tax Map 28. Application has been made by Land Solutions Company, LLC., representing property owner Derrell Cagle, requesting a Land Use Plan Amendment in Wilson County, Tennessee over about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to be added to Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlie at 444-3647 x2304. The public is welcome to attend. Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

**PUBLIC NOTICE**  
In reference to Ordinance No. 26-7340, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed zoning approval for about 246 acres at unaddressed properties on Maple Hill Road and Carver Lane (Tax Map 46 Parcels 18, 18.01 & 21.01) to be added to Ward 1. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahlie at 444-3647 x2304. The public is welcome to attend. Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

Continued on next page

**ORDINANCE NO. 26-7341**

**AN ORDINANCE TO AMEND TITLE 14, CHAPTER 8 SECTION 13 TO ADD VESTED RIGHTS TO SPECIFY THE TYPE OF DEVELOPMENT PLANS THAT WILL CAUSE PROPERTY RIGHTS TO VEST**

**WHEREAS**, the City of Lebanon believes that such amendment will promote, protect and facilitate the public health, safety and welfare of the community through coordinated and practical land use and land development for the betterment of Lebanon’s population; and

**WHEREAS**, the Lebanon Municipal Regional Planning Commission recommended approval of this amendment of the Zoning Ordinance to the Mayor and City Council by a vote of 9-0 at their November 17, 2025 Meeting.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, that Title 14, Chapter 8 Section 13 be amended as follows:

**Section 1.** Add Section 14.813.

14.813 In accordance with Tenn. Code Ann. § 13-3-413, this section details the vesting procedure for developments in the City of Lebanon.

1. A vested property right shall be established upon the submittal of a preliminary development plan or a final development plan when no preliminary development plan is required.
2. Development plans shall be submitted through the official means of application for the City of Lebanon for one of the development plan types listed in the following table and in accordance with the substantial compliance requirements further described in this section.
3. No other application type in the City of Lebanon shall establish vested rights.

Process	Preliminary Development Plans	Final Development Plans
Site Plan	Preliminary Site Plan <sup>1</sup>	Final Site Plan

<sup>1</sup> Preliminary Site Plans shall not be required when a site plan is exempted from Planning Commission review.

4. The vested property rights shall run with the property for the duration of the development process of the approved plan unless the plan establishing the vested rights expires, as described in this section, or are otherwise terminated in accordance with Tenn. Code Ann. § 13-3-413(f).
5. Phasing
  - Developments may be approved as multi-phase plans. The preliminary development plan that establishes the vested rights shall include the proposed phasing of the project when it is first submitted to secure the rights given to a multi-phased development. The phasing lines may be adjusted throughout the development process.
  - Development plans may be phased at a later stage of the development process but shall not be conferred upon the status of a multi-phased plan for the purposes of vested rights if not approved on the preliminary development plan.

- Any given property shall be limited to one active preliminary development plan at any given time. Preliminary development plans shall be considered active from vesting date until all final development plans based on that preliminary development plan have been approved by the City.

#### 6. Amendments

- Amendments to approved preliminary or final development plans may be submitted by means of an official application to the City through the revision process under the same approved application number or if otherwise directed by Staff under a new application number, which shall then indicate in the new application name that it is an amendment or revision and to which previous application number it is amending.
- An amendment to an approved development plan by the developer must be approved by the City to retain the protections of the vested property right.
- An amendment may be denied based upon a written finding by the local government that the amendment:
  - a. Alters the proposed use;
  - b. Increases the overall area of the development (measured by disturbed area);
  - c. Alters the size of any nonresidential structures included in the development plan;
  - d. Increases the density of the development so as to affect traffic, noise or other environmental impacts; or
  - e. Increases any local government expenditure necessary to implement or sustain the proposed use.
- If an amendment is denied based upon such a written finding, then the applicant may either proceed under the prior approved plan with the associated vested property right or, alternatively, allow the vested property right to terminate and submit a new application under this section.
- Notwithstanding this subsection, a vested property right shall not terminate if the City determines, in writing, that it is in the best interest of the community to allow the development to proceed under the amended plan without terminating the vested property right.

#### 7. Expiration of Vested Rights

- A site plan will expire if the following time frames elapse from the Planning Commission approval date of a preliminary site plan or approval of a final site plan when no preliminary site plan is required if all relative development benchmark actions have not been completed as described, consistent with Tennessee Code Annotated (TCA) § 13-3-413:
  - 3 Years - if a grading permit has not been secured and site preparation has not commenced.
  - 5 Years – if a grading permit has not been maintained, building permit has not been secured, and construction has not commenced.
  - 10 Years – if a building permit has not been maintained and construction has not been completed for a single-phase project.
  - 15 Years – if a building permit has not been maintained and construction has not been completed for a multi-phase project.
- Prior to any of these expiration benchmarks being reached the applicant may request an extension from the Planning Commission for the plans as approved. The date to which Planning Commission hears the request must be prior to the expiration date in question.

- Should the site plan expire, a new application will need to be submitted and receive Planning Commission approval compliant with all relative codes at the time of the new application submittal.
8. Substantial Compliance
- Substantial compliance means that an application includes all required documents, plans, and forms, and that each submission is complete, accurate, and conforms to the City of Lebanon zoning ordinance, subdivision regulations, and all other applicable regulations. The application must demonstrate that the proposed plan meets the intent and substantive requirements of all applicable codes, even if minor, technical, or non-material errors or omissions are present.
  - To be deemed substantially compliant, an application must:
    - Include all documents, plans, and forms as required by the City's application checklist and development procedures.
    - Ensure that all submissions are internally consistent, to scale, and legible.
    - Demonstrate general conformity with:
      - The Zoning Ordinance
      - The Subdivision Regulations
      - All relevant building codes, engineering standards, utility requirements, and design criteria.
    - Address any public health, safety, and welfare concerns associated with the proposed development.
    - Include any supporting studies or documentation (e.g., traffic impact analysis, drainage reports, utility availability letters) as applicable or required.
  - Substantial compliance does not preclude future minor amendments, but the application must clearly demonstrate intent to fully comply with all mandatory provisions and not contain any material defects that would:
    - Preclude meaningful review by City Staff or approving authorities,
    - Result in nonconformance with adopted plans or ordinances, or
    - Compromise the public interest or administrative integrity of the approval process.
  - The City of Lebanon shall maintain and publish a current list of required documents, forms, and plan types necessary for a complete application. Applicants are responsible for verifying and including all required components before submission.
9. A vested right does not preclude the City's enforcement of any development standard in accordance with any circumstances described in Tenn. Code Ann. § 13-3-413(g).
10. Unless specifically addressed herein, all other provisions of Tenn. Code Ann. § 13-3-413 are adopted and incorporated by reference.
11. Site Plan Definition & Requirements
- A site plan is required prior to obtaining a permit for the addition of a greater than two residential units, any non-residential structures, for the addition of parking lots and other non-residential site improvements on lots of record. A site plan may be required under other circumstances as described in this or any other title.
  - Generally, a preliminary site plan shall show to the full extent the scope of a development, all site improvements that are intended for the proposed use of the site, and their compliance with zoning and any other applicable regulations.

- Generally, a final site plan shall show in full detail the scope of development or phase of a development, all site improvements that are intended for the proposed use of the site that is to be permitted as a result of the approval of the plan and their compliance with all applicable regulations.
- The minimum requirements of a site plan are listed in the Preliminary Site Plan Checklist & Final Site Plan Checklist. Additional information needed to demonstrate compliance with any and all regulations may be required by City Staff at any time.

**Section 2.** That all Ordinances in conflict herewith are repealed to the extent of said conflict.

**Section 3.** That this Ordinance shall take effect from and after its passage on final reading, the public welfare requiring it.

Notice of the Public Hearing was published in the Wilson Post on December 10, 2025.

The Public Hearing was held at 5:55 PM in the City Council Chambers on January 6, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to Form:

Passed first reading: January 6, 2026.

\_\_\_\_\_  
City Attorney

Passed second reading: \_\_\_\_\_

MAIN STREET MEDIA OF TN  
PO Box 5009  
Lebanon, TN 37088 US  
6154446008  
accounting@mainstreetmediatn.com

MAIN STREET MEDIA  
OF TENNESSEE

BILL TO  
City of Lebanon (1)  
Planning Office/TONYA JONES  
200 Castle Hts Ave. N.  
Lebanon, TN 37087

INVOICE # 492025459  
DATE 12/10/2025  
DUE DATE 01/01/2026  
TERMS Due on receipt

SALES REP  
LP

Legal Advertising:Legal Advertising Legal Advertising Ord #26-7341 Zoning ammend. Property rights WP 12-10	1	86.63	86.63
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## PUBLIC NOTICE

In reference to Ordinance No. 26-7341, notice is hereby given that the Mayor and City Council of the City of Lebanon, Tennessee, will hold a public hearing at 5:55 PM on January 6, 2026, in the Council Chambers for the purpose of discussing and hearing comments from the citizens on the proposed zoning code amendment to add 14.814 Vested Rights to specify the type of development plans that will cause property rights to vest. The public hearing for the proposed amendment is being conducted pursuant to the laws of the State of Tennessee Code Annotated and the City of Lebanon, Tennessee. Copies of the proposed amendment are available for inspection at the following locations: City of Lebanon Mayor's Office, Engineering Office and Planning Office at 200 North Castle Heights Avenue. Questions can be addressed to Joshua Stahle at 444-3647 x2304. The public is welcome to attend.

Individuals needing auxiliary aids for effective communication and/or other reasonable accommodation in programs and services of the City of Lebanon are invited to make their needs and preferences known to the ADA Compliance Coordinator by calling 443-2809.

STATE OF TENNESSEE

County of Wilson

Personally appeared before me,

Shelley K. Satterfield

A Notary Public of Tennessee,  
Dave Gould, who being first duly sworn, made oath that he is President of *The Wilson Post*, a newspaper, and that the hereto attached publication appeared in the same on the

12-10-2025

Dave Gould

Dave Gould, President

Subscribed and sworn to before me  
on the date of:

12-10-2025

Shelley K. Satterfield

Notary Public, Shelley K. Satterfield





**ORDINANCE NO. 26-7349**

**AN ORDINANCE OF THE CITY COUNCIL OF LEBANON  
TO AUTHORIZE BUDGET AMENDMENTS FOR THE WATER/SEWER FUND AND  
GAS FUND FOR A VEHICLE SWAP**

**WHEREAS**, the Lebanon City Council passed Ord. No. 25-7222 on June 17, 2025, to adopt the 2025 – 2026 fiscal year budget; and

**WHEREAS**, it is now necessary to amend the budgets for Water/Sewer and Gas to document a vehicle swap; and

**WHEREAS**, the required budget amendments are detailed on the budget amendment form attached hereto as if appearing verbatim herein.

**NOW, THEREFORE, BE IT ORDAINED** by the City of Lebanon, Tennessee, as follows:

Section 1. The Mayor and the Commissioner of Finance and Revenue are hereby authorized to amend the 2025 – 2026 fiscal year budget as follows:

**Department: Water/Sewer and Gas**

From: 411-36960	Transfer from Other Funds	\$41,000.00
41590001-79010	Budget Retained Earnings	\$41,000.00
To: 41190001-79010	Budget Retained Earnings	\$41,000.00
41552413-77150	Transfer to Other Funds	\$41,000.00

Section 2. This ordinance shall take effect immediately upon its passage, the public welfare requiring the same.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

Passed first reading: \_\_\_\_\_

Passed second reading: \_\_\_\_\_

**RESOLUTION NO. 26-2814**

**A RESOLUTION OF THE CITY COUNCIL OF LEBANON, TENNESSEE  
(LEGACY)**

**Tennessee Consolidated  
Retirement System**

A RESOLUTION to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Acts, codified in Tennessee Code Annotated, Section 8-36-212, to authorize the payment of the hazardous duty supplemental benefit pursuant to Tennessee Code Annotated, Section 8-36-212.

WHEREAS, Chapter 919 of the 2024 Public Acts codified in Tennessee Code Annotated, Section 8-36-212 (the “Act”) provides that any political subdivision participating in the Tennessee Consolidated Retirement System may, in addition to the member’s retirement allowance, establish a hazardous duty supplemental benefit for all its eligible public safety officers meeting the requirements contained in this Resolution (“Eligible Employee”). The term “public safety officer” means a full-time, salaried employee of a political subdivision who is a sheriff, sheriff’s deputy, police officer, chief of police, or any other law enforcement officer with the political subdivision whose primary responsibility is the prevention and detection of crime and apprehension for offenders, or a full-time salaried employee of a political subdivision who is a correctional officer or firefighter; provided that:

- (A) the member meets all of the eligibility requirements for retirement;
- (B) the member has at least twenty (20) years of creditable service in the retirement system as a public safety officer for any political subdivision employer participating in the Tennessee Consolidated Retirement System;
- (C) the member retires on a service retirement allowance or early service retirement allowance and not an ordinary or accidental disability retirement allowance. The member’s service or retirement allowance may be a single life annuity or a joint and survivor annuity. The member’s choice of an option pursuant to Tennessee Code Annotated § 8-36-601 will not reduce the member’s hazardous duty supplemental benefit;
- (D) the hazardous duty supplemental benefit begins on the member’s effective date of retirement or on the first day of the month following the month the member reaches age sixty (60), whichever is later;

(E) the hazardous duty supplemental benefit, including any cost-of-living adjustments attributable to that benefit, ceases on the first day of the month following the month in which the member dies, or on the first day of the month following the month in which the member reaches full retirement age for receipt of old age and survivors benefits under Title II of the Social Security Act (42 U.S.C. §§ 401-425);

(F) the hazardous duty supplemental benefit applies to all current and future retired public safety officers meeting the eligibility criteria for the supplemental benefit; provided, that the benefit must not be paid retroactively;

(G) the chief governing body has passed a resolution authorizing an actuarial study to determine the liability associated with adopting the hazardous duty supplemental benefit;

(H) the chief governing body of the political subdivision passes this resolution authorizing the establishment of the hazardous duty supplemental benefit, and, based on the results of the actuarial study, accepts the liability associated with the granting of the supplemental benefit; provided, that political subdivision's funded status in the Tennessee Consolidated Retirement System is at least seventy percent (70%) after the implementation of the supplemental benefit. All costs associated with providing the supplemental benefit shall be paid by the political subdivision and not by the State; and

(I) assuming the political subdivision has the requisite funding status to establish the supplemental benefit and accepts the liability associated with the supplemental benefit, the political subdivision shall pay the estimated increased pension liability through one (1) of the following methods, and indicate its payment choice by checking one (1) of the boxes below:

- (i) a lump sum;
- (ii) an increase in the political subdivision's employer contribution rate over the course of the fiscal year (July 1- June 30) following the adoption of the authorizing resolution; or
- (iii) amortizing the unfunded accrued liability over a period of time not to exceed ten (10) years from the date of the adoption of the resolution.

WHEREAS, the City Council of City of Lebanon  
(Name of Governing Body (Name of Political Subdivision)

desires to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Chapters codified in Tennessee Code Annotated, Section 8-36-212; and

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through a lump sum as indicated in paragraph I(i) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall be paid to the retirement system in the amount of \$1,780,451; or

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through an increase in the Political Subdivision's employer contribution rate over the course of the fiscal year as indicated in paragraph I(ii) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall increase its accrued liability rate by 26.01 % of the covered payroll of the affected employees over the course of the fiscal year July 1, 2026 to June 30, 2027 or

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through amortizing the unfunded accrued liability as indicated in paragraph I(iii) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall increase its accrued liability rate by 3.73 % of the covered payroll of the affected employees over the course of ten (10) years; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that while eligibility for this supplemental benefit is based on the Eligible Employee's total years of creditable service as a public safety officer with any political subdivision, the calculation of this supplemental benefit is based on the employee's years of creditable service as a public safety officer with a political subdivision that has adopted the hazardous duty supplemental benefit; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that an Eligible Employee's mandatory retirement and receipt of a supplemental bridge benefit or retirement under the alternate defined benefit plans will not reduce the amount of the Eligible Employee's hazardous duty supplemental benefit; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that an Eligible Employee receiving a hazardous duty supplemental benefit is entitled to receive a cost-of-living adjustment, except as provided in Tennessee Code Annotated § 8-36-922.

NOW, THEREFORE, BE IT RESOLVED that the Governing Body of the above-named Political Subdivision hereby establishes a hazardous duty supplemental benefit for all its eligible public safety officers.

Adopted this \_\_\_ day of \_\_\_\_\_, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

STATE OF TENNESSEE

COUNTY OF WILSON

I, \_\_\_\_\_, clerk of the City Council of  
(Name of Governing Body)

City of Lebanon, Tennessee do hereby certify that this is a true and  
(Name of Political Subdivision)

exact copy of the foregoing resolution that was approved and adopted in accordance with applicable law at a meeting held on the \_\_\_ day of \_\_\_\_\_, 2026, the original of which is on file in this office.

IN WITNESS THEREOF, I have hereunto set my hand, and the seal of the

City of Lebanon  
(Name of Political Subdivision)

\_\_\_\_\_  
As Clerk of the Board, as aforesaid

SEAL

**RESOLUTION NO. 26-2815**

**A RESOLUTION OF THE CITY COUNCIL OF LEBANON, TENNESSEE  
(HYBRID)**

**Tennessee Consolidated  
Retirement System**

A RESOLUTION to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Acts, codified in Tennessee Code Annotated, Section 8-36-212, to authorize the payment of the hazardous duty supplemental benefit pursuant to Tennessee Code Annotated, Section 8-36-212.

WHEREAS, Chapter 919 of the 2024 Public Acts codified in Tennessee Code Annotated, Section 8-36-212 (the “Act”) provides that any political subdivision participating in the Tennessee Consolidated Retirement System may, in addition to the member’s retirement allowance, establish a hazardous duty supplemental benefit for all its eligible public safety officers meeting the requirements contained in this Resolution (“Eligible Employee”). The term “public safety officer” means a full-time, salaried employee of a political subdivision who is a sheriff, sheriff’s deputy, police officer, chief of police, or any other law enforcement officer with the political subdivision whose primary responsibility is the prevention and detection of crime and apprehension for offenders, or a full-time salaried employee of a political subdivision who is a correctional officer or firefighter; provided that:

- (A) the member meets all of the eligibility requirements for retirement;
- (B) the member has at least twenty (20) years of creditable service in the retirement system as a public safety officer for any political subdivision employer participating in the Tennessee Consolidated Retirement System;
- (C) the member retires on a service retirement allowance or early service retirement allowance and not an ordinary or accidental disability retirement allowance. The member’s service or retirement allowance may be a single life annuity or a joint and survivor annuity. The member’s choice of an option pursuant to Tennessee Code Annotated § 8-36-601 will not reduce the member’s hazardous duty supplemental benefit;
- (D) the hazardous duty supplemental benefit begins on the member’s effective date of retirement or on the first day of the month following the month the member reaches age sixty (60), whichever is later;

(E) the hazardous duty supplemental benefit, including any cost-of-living adjustments attributable to that benefit, ceases on the first day of the month following the month in which the member dies, or on the first day of the month following the month in which the member reaches full retirement age for receipt of old age and survivors benefits under Title II of the Social Security Act (42 U.S.C. §§ 401-425);

(F) the hazardous duty supplemental benefit applies to all current and future retired public safety officers meeting the eligibility criteria for the supplemental benefit; provided, that the benefit must not be paid retroactively;

(G) the chief governing body has passed a resolution authorizing an actuarial study to determine the liability associated with adopting the hazardous duty supplemental benefit;

(H) the chief governing body of the political subdivision passes this resolution authorizing the establishment of the hazardous duty supplemental benefit, and, based on the results of the actuarial study, accepts the liability associated with the granting of the supplemental benefit; provided, that political subdivision's funded status in the Tennessee Consolidated Retirement System is at least seventy percent (70%) after the implementation of the supplemental benefit. All costs associated with providing the supplemental benefit shall be paid by the political subdivision and not by the State; and

(I) assuming the political subdivision has the requisite funding status to establish the supplemental benefit and accepts the liability associated with the supplemental benefit, the political subdivision shall pay the estimated increased pension liability through one (1) of the following methods, and indicate its payment choice by checking one (1) of the boxes below:

- (i) a lump sum;
- (ii) an increase in the political subdivision's employer contribution rate over the course of the fiscal year (July 1- June 30) following the adoption of the authorizing resolution; or
- (iii) amortizing the unfunded accrued liability over a period of time not to exceed ten (10) years from the date of the adoption of the resolution.

WHEREAS, the City Council of the City of Lebanon  
(Name of Governing Body) (Name of Political Subdivision)

desires to establish a hazardous duty supplemental benefit pursuant to Chapter 919 of the 2024 Public Chapters codified in Tennessee Code Annotated, Section 8-36-212; and

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through a lump sum as indicated in paragraph I(i) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall be paid to the retirement system in the amount of \$209,798 ; or

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through an increase in the Political Subdivision's employer contribution rate over the course of the fiscal year as indicated in paragraph I(ii) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall increase its accrued liability rate by 2.96 % of the covered payroll of the affected employees over the course of the fiscal year July 1, 2026 to June 30, 2027; or

WHEREAS, should the Governing Body of the above-named Political Subdivision choose to pay for the liability associated with the supplemental benefit through amortizing the unfunded accrued liability as indicated in paragraph I(iii) above, it acknowledges that the costs associated with providing the hazardous duty supplemental benefit to all Eligible Employees pursuant to the Act shall increase its accrued liability rate by 0.76 % of the covered payroll of the affected employees over the course of ten (10) years; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that while eligibility for this supplemental benefit is based on the Eligible Employee's total years of creditable service as a public safety officer with any political subdivision, the calculation of this supplemental benefit is based on the employee's years of creditable service as a public safety officer with a political subdivision that has adopted the hazardous duty supplemental benefit; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that an Eligible Employee's mandatory retirement and receipt of a supplemental bridge benefit or retirement under the alternate defined benefit plans will not reduce the amount of the Eligible Employee's hazardous duty supplemental benefit; and

WHEREAS, the Governing Body of the above-named Political Subdivision further acknowledges that an Eligible Employee receiving a hazardous duty supplemental benefit is entitled to receive a cost-of-living adjustment, except as provided in Tennessee Code Annotated § 8-36-922.

NOW, THEREFORE, BE IT RESOLVED that the Governing Body of the above-named Political Subdivision hereby establishes a hazardous duty supplemental benefit for all its eligible public safety officers effective January 1, 2025, or the first day of the month immediately following the passage of this resolution if the Governing Body establishes such benefit after January 1, 2025.

Adopted this \_\_\_ day of \_\_\_\_\_, 2026.

Attest:

Approved:

\_\_\_\_\_  
Commissioner of Finance & Revenue

\_\_\_\_\_  
Mayor

Approved as to form:

\_\_\_\_\_  
City Attorney

STATE OF TENNESSEE

COUNTY OF WILSON

I, \_\_\_\_\_, clerk of the City Council of the  
(Name of Governing Body)

City of Lebanon, Tennessee do hereby certify that this is a true and  
(Name of Political Subdivision)

exact copy of the foregoing resolution that was approved and adopted in accordance with applicable law at a meeting held on the \_\_\_ day of \_\_\_\_\_, 2026, the original of which is on file in this office.

IN WITNESS THEREOF, I have hereunto set my hand, and the seal of the

City of Lebanon, Tennessee.  
(Name of Political Subdivision)

\_\_\_\_\_  
As Clerk of the Board, as aforesaid

SEAL